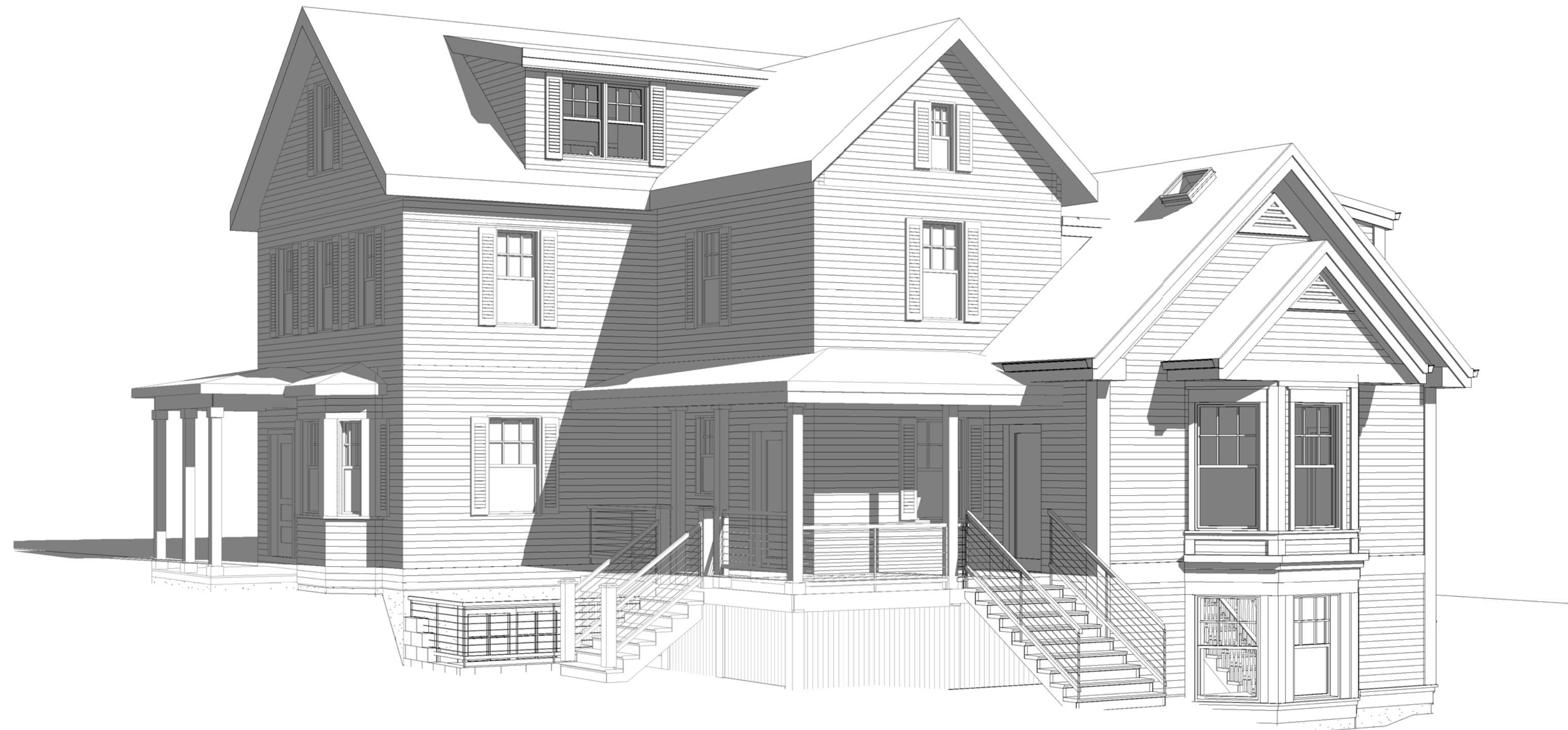


# 88 IRVING STREET RESIDENCES

## 88 IRVING STREET, SOMERVILLE, MA



# SPECIAL PERMIT SET

## 05/23/2017



LOCUS PLAN

PREPARED BY

**ARCHITECT**  
**KHALSA DESIGN INC.**  
 ADDRESS:  
 17 IVALOO STREET, SUITE 400  
 SOMERVILLE, MA 02143

**CIVIL**  
**DESIGN CONSULTANTS INC.**  
 ADDRESS:  
 120 MIDDLESEX AVENUE  
 SOMERVILLE, MA 02145

**CLIENT**  
**GFC DEVELOPMENT**

Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	05-23-2017
C-1.0	Civil Site Plan	05-23-2017
C-2.0	Details	05-23-2017
L-100	Landscape Plan	05-23-2017
A-020	Architectural Site Plan	05-23-2017
EX-100	Existing Conditions	05-23-2017
A-100	Basement & 1st Floor Plans	05-23-2017
A-101	2nd Floor & Attic Floor Plans/ Roof Plan	05-23-2017
A-300	Exterior Elevations	05-23-2017
AV-1	Perspectives	05-23-2017

PROJECT NAME  
**88 IRVING ST RESIDENCES**

PROJECT ADDRESS  
 88 IRVING STREET  
 SOMERVILLE, MA

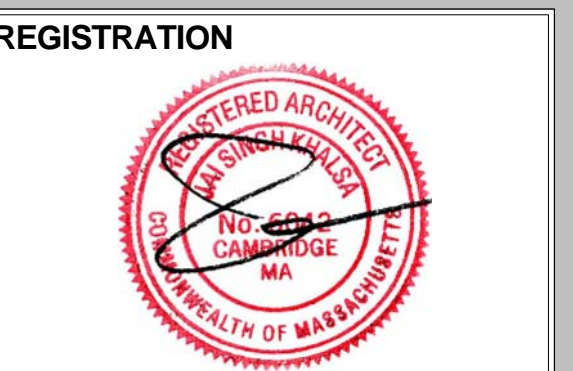
CLIENT  
**GFC DEVELOPMENT**



17 IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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Project number 16108  
 Date 03/23/2017  
 Drawn by TMC  
 Checked by JSK  
 Scale

REVISIONS

No.	Description	Date

Cover Sheet

# A-000

88 IRVING ST RESIDENCES

GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF SOMERVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

UTILITY & DRAINAGE NOTES

- 1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
3. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
6. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
7. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
9. NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY CITY OF SOMERVILLE.
10. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
11. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
12. CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE CITY OF SOMERVILLE DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
13. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
14. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
15. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPAATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
16. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
17. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

PIPE MATERIALS:

ALL EXISTING UTILITIES TO REMAIN
ROOF LEADER: 4" SCHEDULE 40. SLOPE AT 1% MINIMUM.

LOCUS TITLE INFORMATION

88 IRVING STREET
OWNER: 88 IRVING LLC
DEED REFERENCE: BK. 65420 PG. 563
PLAN REFERENCE: PLAN BOOK 21, PLAN 44 (LOT 56)
ASSESSORS: MAP 16 BLOCK A LOT 27

LEGEND

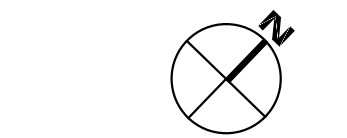
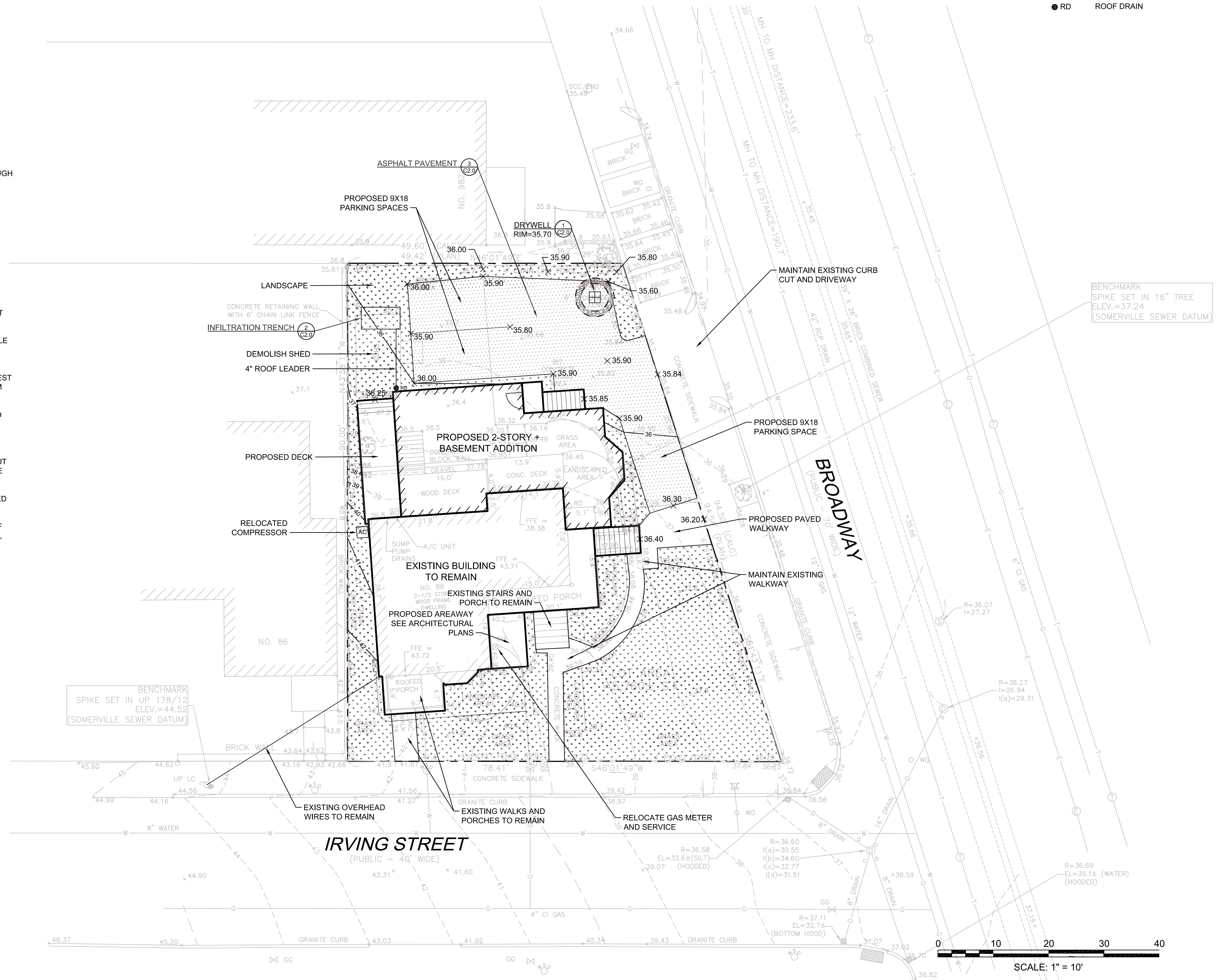
EXISTING:

- CS COMBINED SEWER & DRAIN
S SANITARY SEWER
D DRAIN LINE
W WATER LINE
OHW ELECTRIC LINE
G GAS LINE
T TELEPHONE LINE
ST STEAM LINE
S SANITARY MANHOLE
DM DRAIN MANHOLE
U UNKNOWN MANHOLE
E ELECTRIC MANHOLE
T TELEPHONE MANHOLE

- CATCH BASIN
DECIDUOUS TREE
CONIFEROUS TREE
PLANTER
FIRE HYDRANT
WATER GATE
GAS GATE
WASTE BASKET
PARKING METER
MAIL BOX
TRAFFIC SIGNAL
UTILITY POLE
SPOT GRADE

PROPOSED:

- W.G. WATER GATE
G.G. GAS GATE
TEST PIT
STOCKADE
SEWER LINE
GAS LINE
DOMESTIC WATER LINE
FIRE SUPPRESSION LINE
ELECTRIC, TEL. & CABLE LINE
DRAIN LINE
SPOT GRADE
CONTOUR
TOP OF CURB, BOTTOM OF CURB
TOP OF WALL, BOTTOM OF WALL
INSPECTION PORT
ROOF DRAIN



DEVELOPER:
GFC DEVELOPMENT
PO BOX 261
WESTON, MA 02493
978-265-4364

ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
617-591-8682

PROJECT TEAM

88 IRVING ST
RESIDENCES
2.5 STORY ADDITION
88 IRVING STREET
SOMERVILLE, MA
PROJECT INFO

Table with 3 columns: REV, DESCRIPTION, DATE. The table is currently empty.



STAMP:

CIVIL SITE PLAN

SHEET NAME:

C1.0

SHT NO:

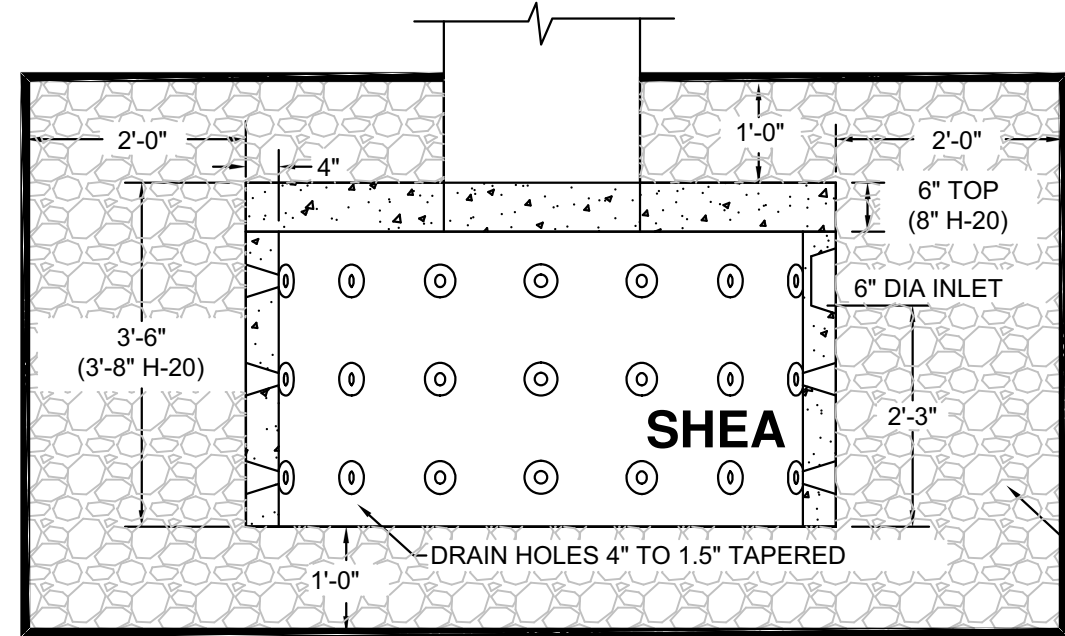
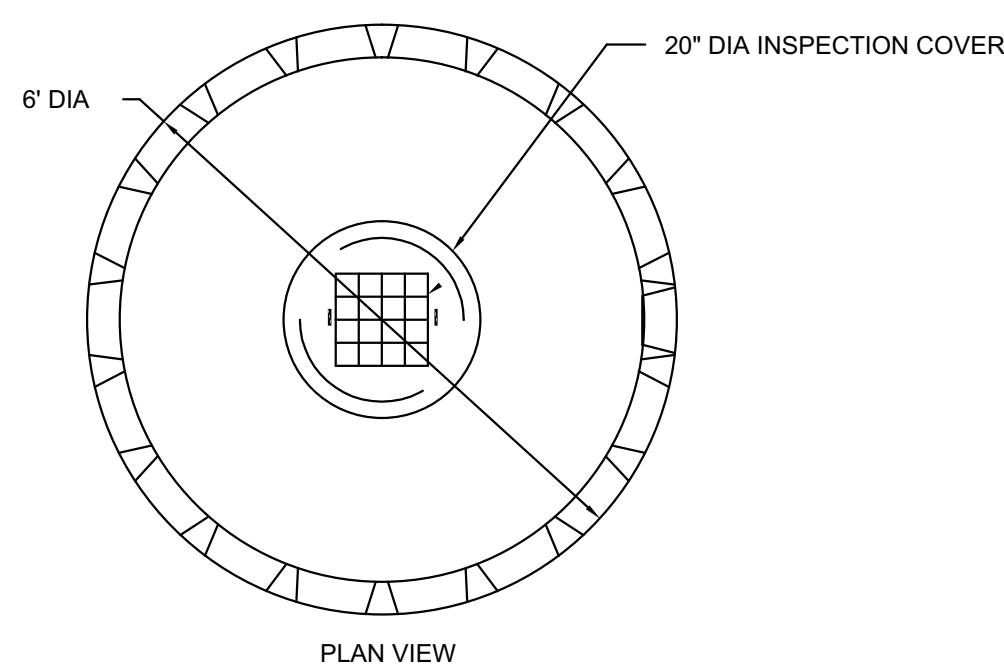
DR BY: RLB

CHK BY: SBS

PROJ NO: 2015-044

DATE: MAY 23, 2017

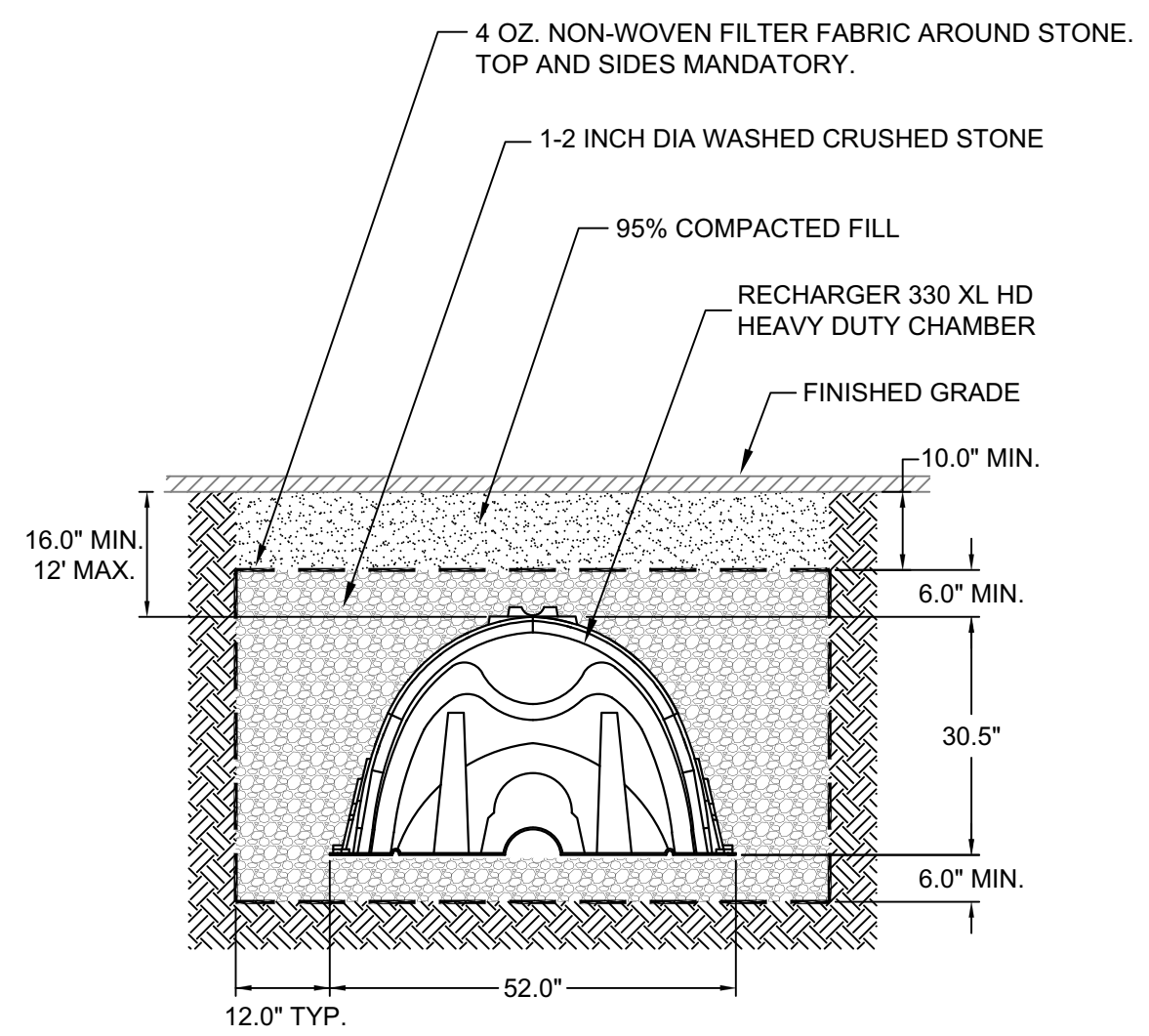
SCALE: 1" = 10'



	ITEM NO.		WEIGHT
500 GALLON	DW-500SDW	STANDARD	4,099#
	DW-500SDWH	H-20	4,770#
3' STACKABLE	DW-3SS		2,008#

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
  2. AVAILABLE IN H-20 LOADING.
  3. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
  4. FILTER FABRIC IS CULTEC NO. 410 OR AN EQUAL.

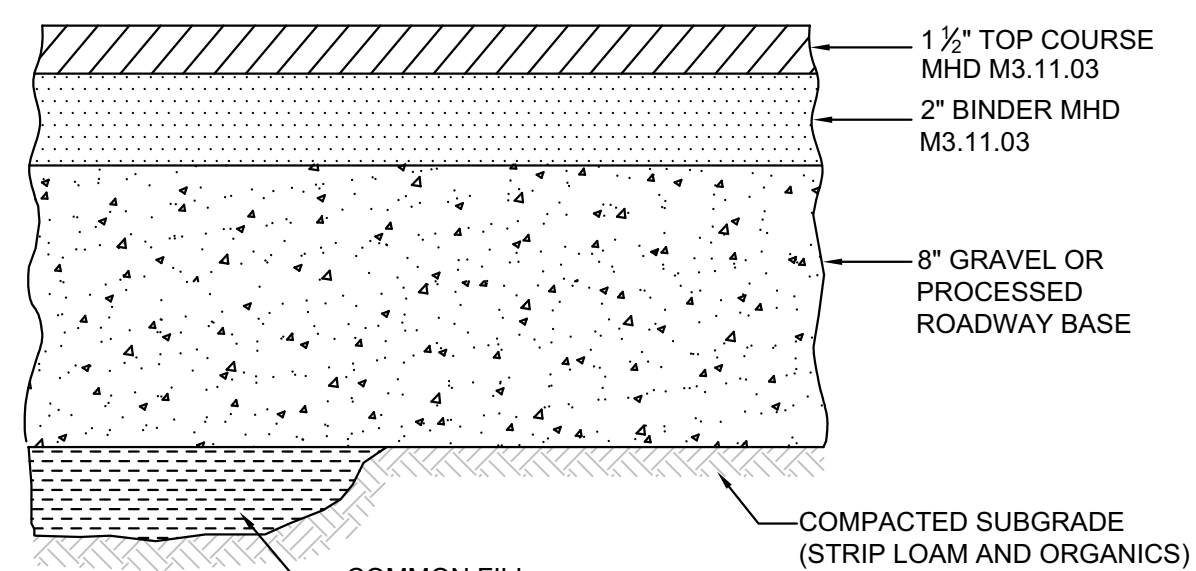
**1** DRYWELL  
NOT TO SCALE



**GENERAL NOTES**  
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.  
 USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC.

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.  
 ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

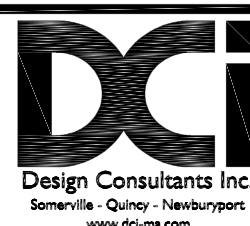
**2** INFILTRATION TRENCH  
NOT TO SCALE



- NOTE:**
1. SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH AND LOCATION.
  2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR PAVEMENT SLOPE AND CROSS-SLOPE.

**3** ASPHALT PAVEMENT  
NOT TO SCALE

NORTH



**DEVELOPER:**  
 GFC DEVELOPMENT  
 PO BOX 261  
 WESTON, MA 02493  
 978-265-4364

**ARCHITECT:**  
 KHALSA DESIGN INC.  
 17 IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 617-591-8682

**PROJECT TEAM**

**88 IRVING ST  
 RESIDENCES  
 2.5 STORY ADDITION  
 88 IRVING STREET  
 SOMERVILLE, MA**

**PROJECT INFO**

REV	DESCRIPTION	DATE



STAMP:

**DETAILS**

SHEET NAME:

**C2.0**

SHT NO.

DR BY: RLB

CHK BY: SBS

PROJ NO: 2015-044

DATE: MAY 23, 2017

SCALE: N.T.S.

PROJECT NAME  
**88 IRVING ST  
 RESIDENCES**

PROJECT ADDRESS  
 88 IRVING STREET  
 SOMERVILLE, MA

CLIENT

**GFC DEVELOPMENT**

ARCHITECT



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Project number	16108
Date	03/23/2017
Drawn by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

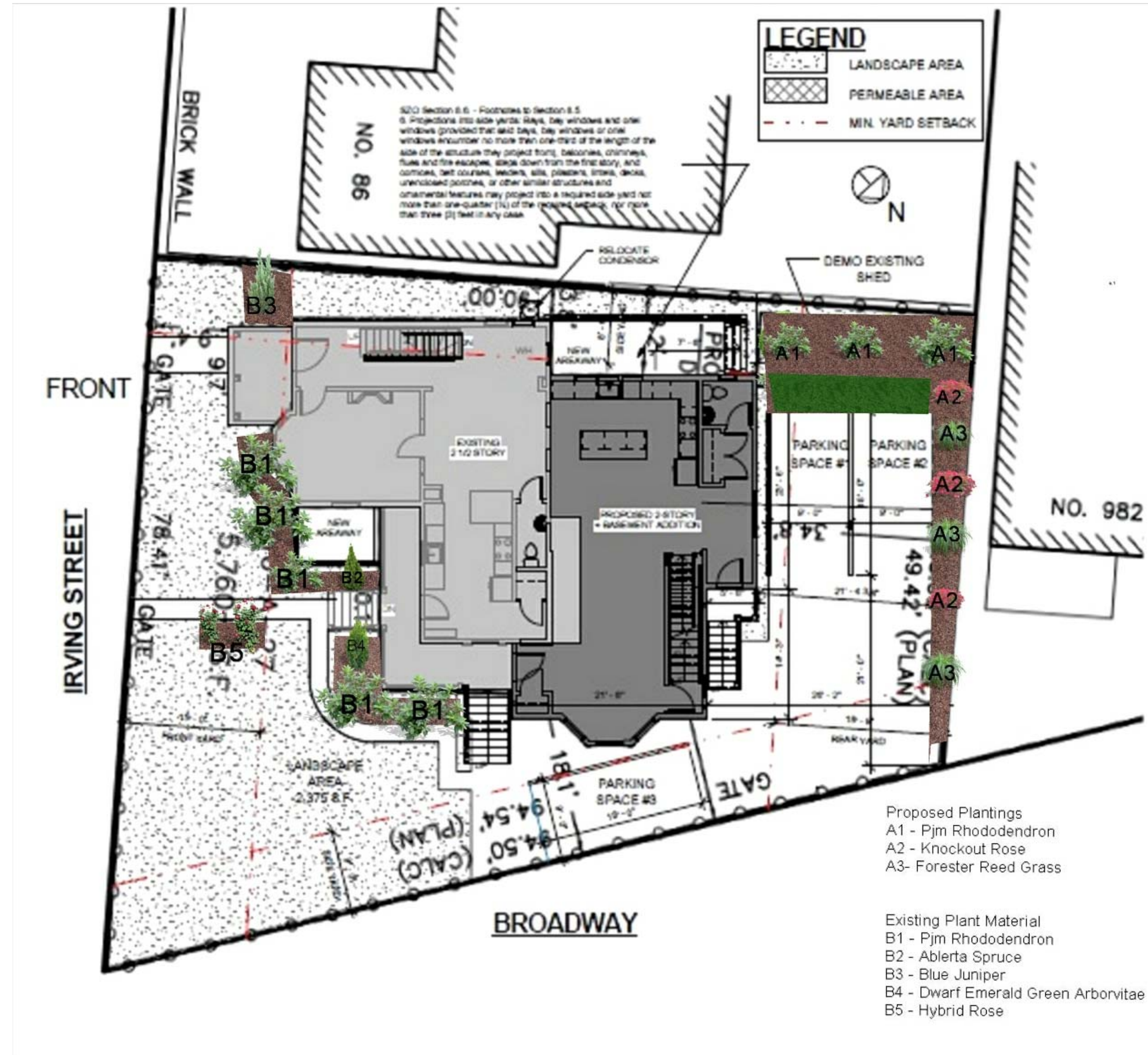
REVISIONS

No.	Description	Date

Landscape Plan

**L-100**

88 IRVING ST RESIDENCES



Proposed Plantings  
 A1 - Pjm Rhododendron  
 A2 - Knockout Rose  
 A3- Forester Reed Grass

Existing Plant Material  
 B1 - Pjm Rhododendron  
 B2 - Ablerta Spruce  
 B3 - Blue Juniper  
 B4 - Dwarf Emerald Green Arborvitae  
 B5 - Hybrid Rose

1 Landscape Plan  
 1/8" = 1'-0"

I:\TKG-Server\Drawings\03\_ARCH\SD\_DD2017\03\_20\_16108\_GFC\_88 Irving\_SD\_Pitched Roof\_5th Iteration.rvt  
 5/24/2017 10:06:47 AM

**ZONING DIMENSIONAL TABLE:**

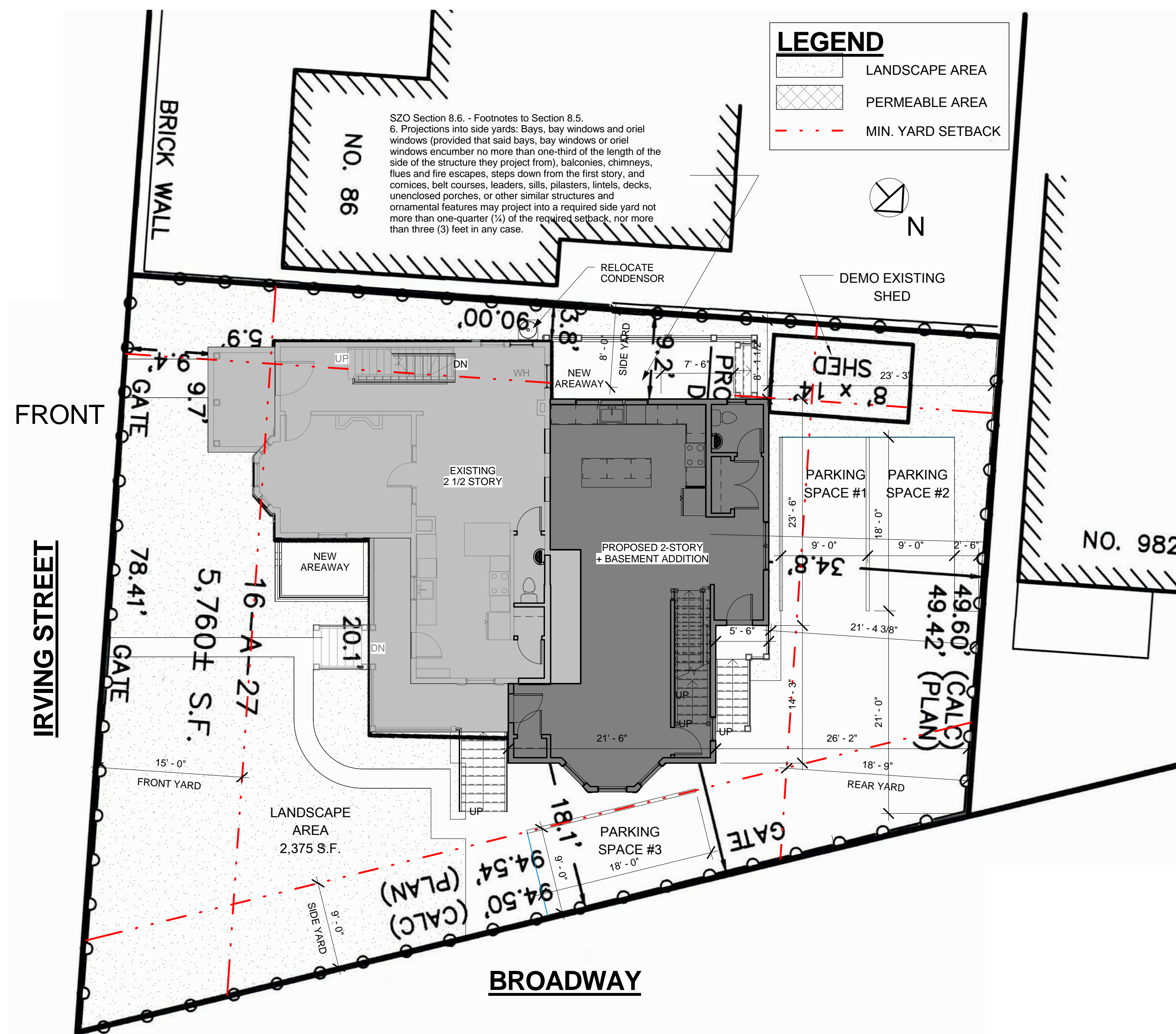
ZONE	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
RA	Single Family 2 Family	Single Family Dwelling	2 Family Dwelling	COMPLIES
MIN LOT SIZE	10,000 S.F.	5,760 S.F. +/-	5,760 S.F. +/-	PRE.-EXIST/ NO CHANGE
MIN LOT PER DWELLING	2,250 S.F./ DU (1-9 DU)	5,760 S.F./ DU (1 DU)	2,880 S.F./ DU (2 DU)	COMPLIES
MAX GROUND COVERAGE	50% / 2,880 S.F.	23% / 1,314 S.F.	32% / 1,868 S.F.	COMPLIES
LANDSCAPE AREA	25% / 1,440 S.F.	54% / 3,092 S.F.	38% / 2,205 S.F.	COMPLIES
MAX FLOOR AREA RATIO (FAR)	0.75 / 4,320 S.F.	0.44 / 2,516 S.F.	0.74 / 4,274 S.F.	COMPLIES
MAX BUILDING HEIGHT	2 1/2 ST/ 35'	2 1/2 ST/ 27'-5"	2 1/2 ST/ 27'-5"	COMPLIES/ NO CHANGE
MIN. YARD SETBACKS				
FRONT	15' or street average	9.4'	9.4'	PRE.-EXIST/ NO CHANGE
LEFT SIDE	8'-0" SUM 17'-0"	3.8'	3.8'	PRE.-EXIST/ NO CHANGE
RIGHT SIDE	8'-0" SUM 17'-0"	18.1'	10.4'	COMPLIES
REAR	18' 9" (Section 8.6.13)	34.8'	21.6'	COMPLIES

Section 8.6: 13. Reduction of rear yards for shallow lots: For each foot by which a lot is less than one hundred (100) feet deep on the effective date of this Ordinance, three (3) inches may be deducted from the required depth of the rear yard, provided that no rear yard shall be less than ten (10) feet.  
 20' - 0" Requirement / 100' - 95' = 5'; 5' X 3" = 15" (1' - 3") > 20' - 1'-3" = 18'-9"

MIN FRONTAGE	50'	78.41'	78.41'	COMPLIES / NO CHANGE
PERVIOUS AREA, MIN % OF LOT	35% / 2,016 S.F.	54% / 3,092 S.F.	41% / 2,369 S.F.	COMPLIES
PARKING REQUIREMENTS	1.5/ DU W/ 1 OR 2 BEDROOMS 2.0/ DU W/ 3+ BEDROOMS			
	EXISTING REQ. Unit 1 - 1.5 Spaces Total - 1.5 Spaces	PROPOSED REQ. See Section 9.5.2 1 Parking Space per additional each newly created Dwelling Unit	1 SPACE 3 SPACES	COMPLIES

**Section 9.5. - Number of Parking Spaces. 2.)Special Residential Conversions:**

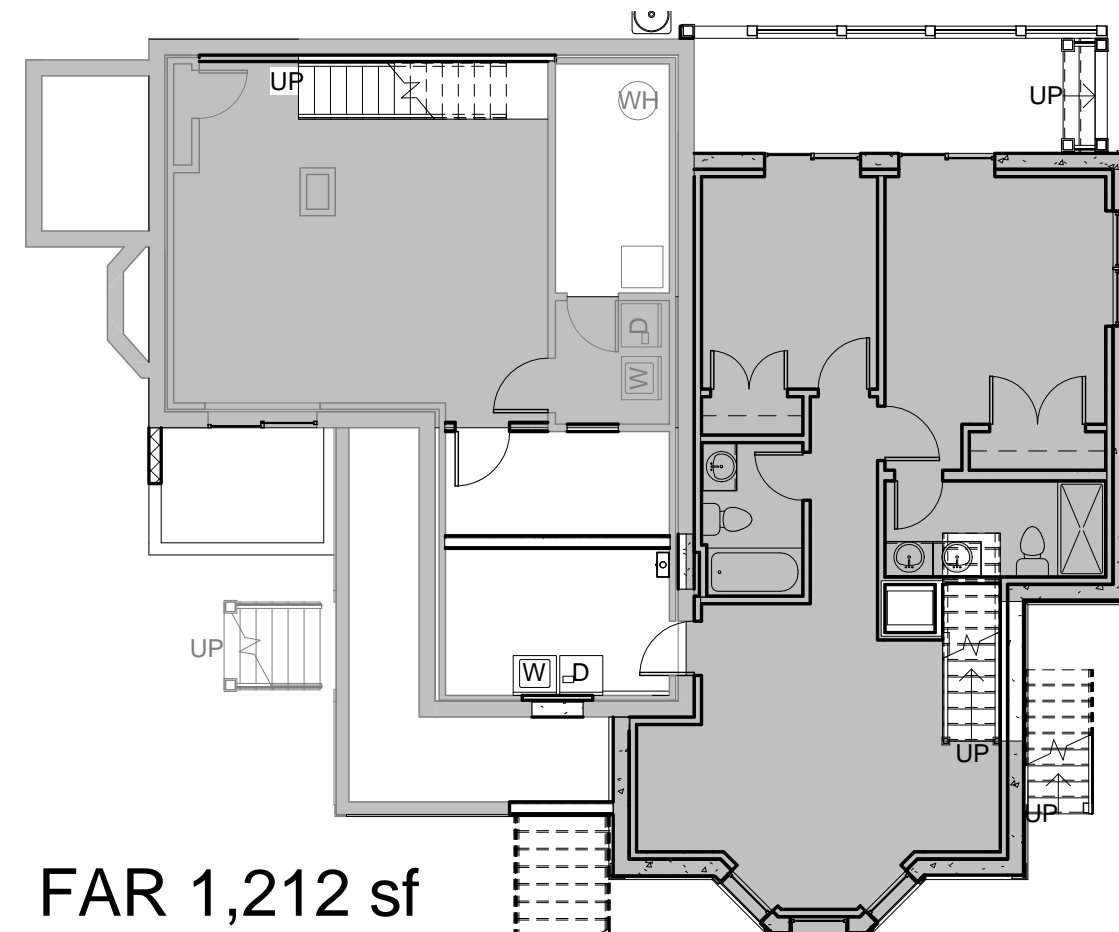
a. Existing 1 and 2 family residences converting to 2 or 3 family residences shall provide one (1) parking space per additional (e.g. newly created) dwelling unit. Also note that the provisions of Section 9.4 as to nonconformity with respect to parking are likely to apply in many instances.  
 EXAMPLE: A single family home is converting to a 2 family residence. One (1) space is required for each new dwelling unit created in the conversion. If the single-family home is converting to a 3 family residence, then two (2) parking spaces are required for the conversion — one (1) for each new unit. Note that this is the parking required for the newly converted unit(s) and is additional parking above what is required for the existing site. However, if the existing lot is nonconforming with respect to parking, then please refer to the special considerations under Section 9.4.1.



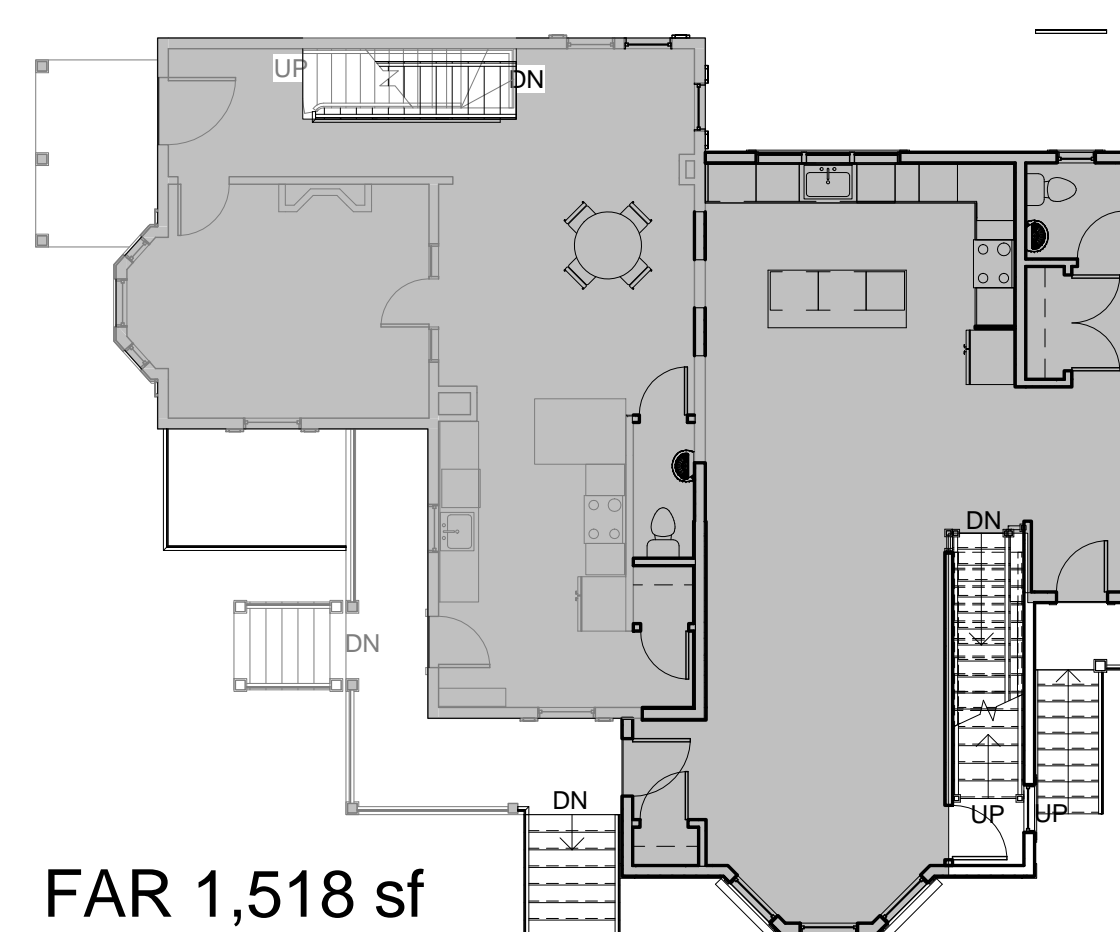
1 Site  
1/8" = 1'-0"

TOTAL FAR AVAILABLE PER LOT SIZE: 4,320 SF

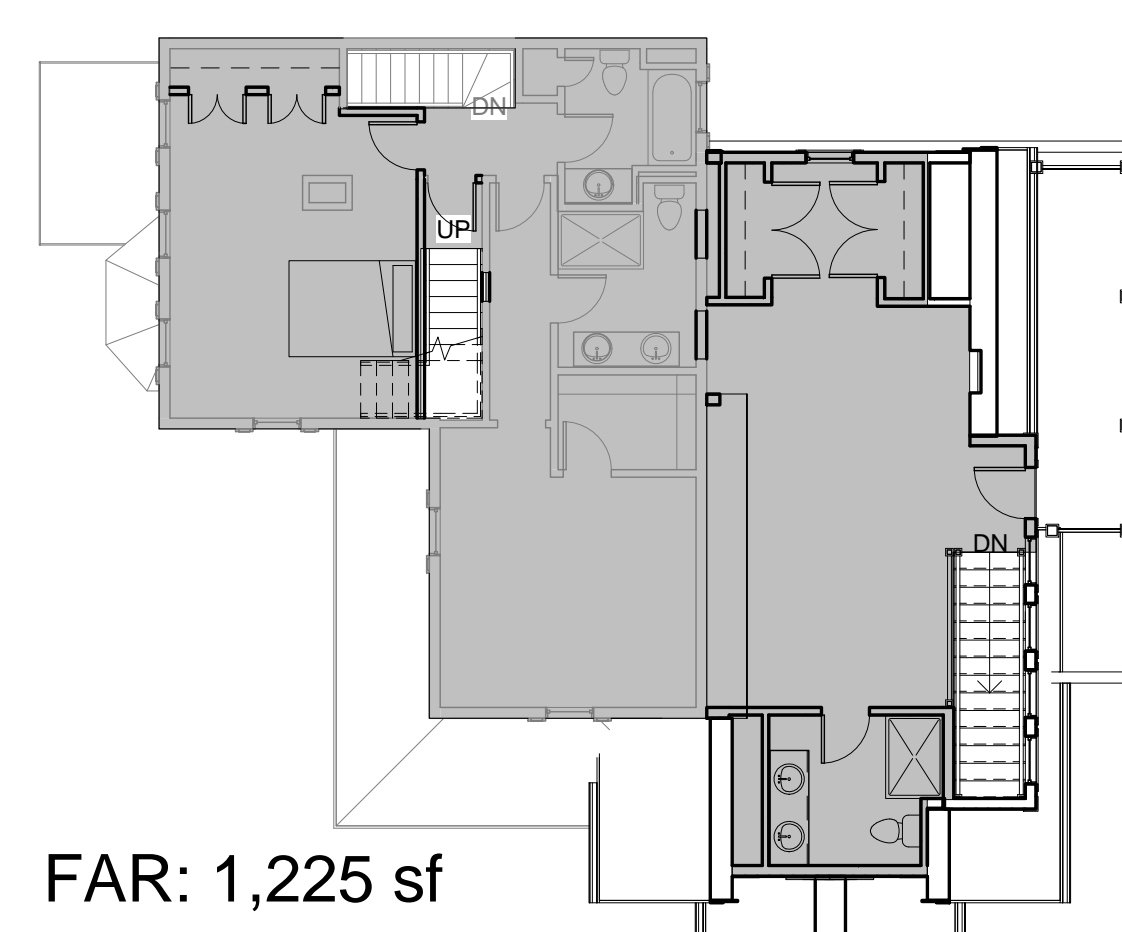
FAR BUILDING CALCULATION		LOT SIZE: 5,760 +/- SF	
	EXISTING	PROPOSED CHANGE	PROPOSED TOTAL
BASEMENT	672 SF	+540 SF	1,212 SF
FIRST FL	781 SF	+737 SF	1,518 SF
SECOND FL	750 SF	+475 SF	1,225 SF
THIRD FL	313 SF	+7 SF	319 SF
<b>TOTAL</b>	<b>2,516 SF/ 0.44 FAR</b>	<b>+1,759</b>	<b>4,274 SF/ 0.74 FAR</b>



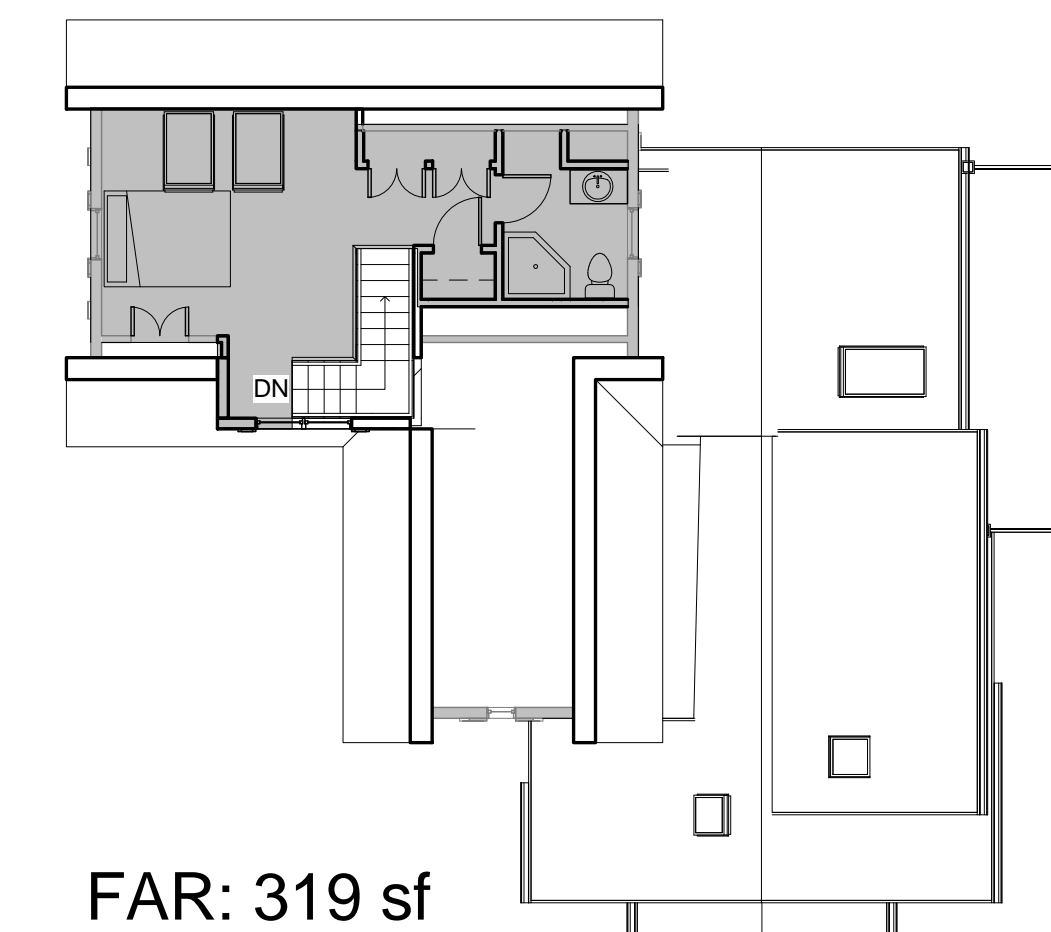
4 Basement - FAR  
1" = 10'-0"



5 1st Floor - FAR  
1" = 10'-0"



6 2nd Floor - FAR  
1" = 10'-0"



7 3rd Floor FAR  
1" = 10'-0"

PROJECT NAME  
**88 IRVING ST RESIDENCES**

PROJECT ADDRESS  
88 IRVING STREET  
SOMERVILLE, MA

CLIENT  
**GFC DEVELOPMENT**

ARCHITECT  
**DESIGN KHALSA**

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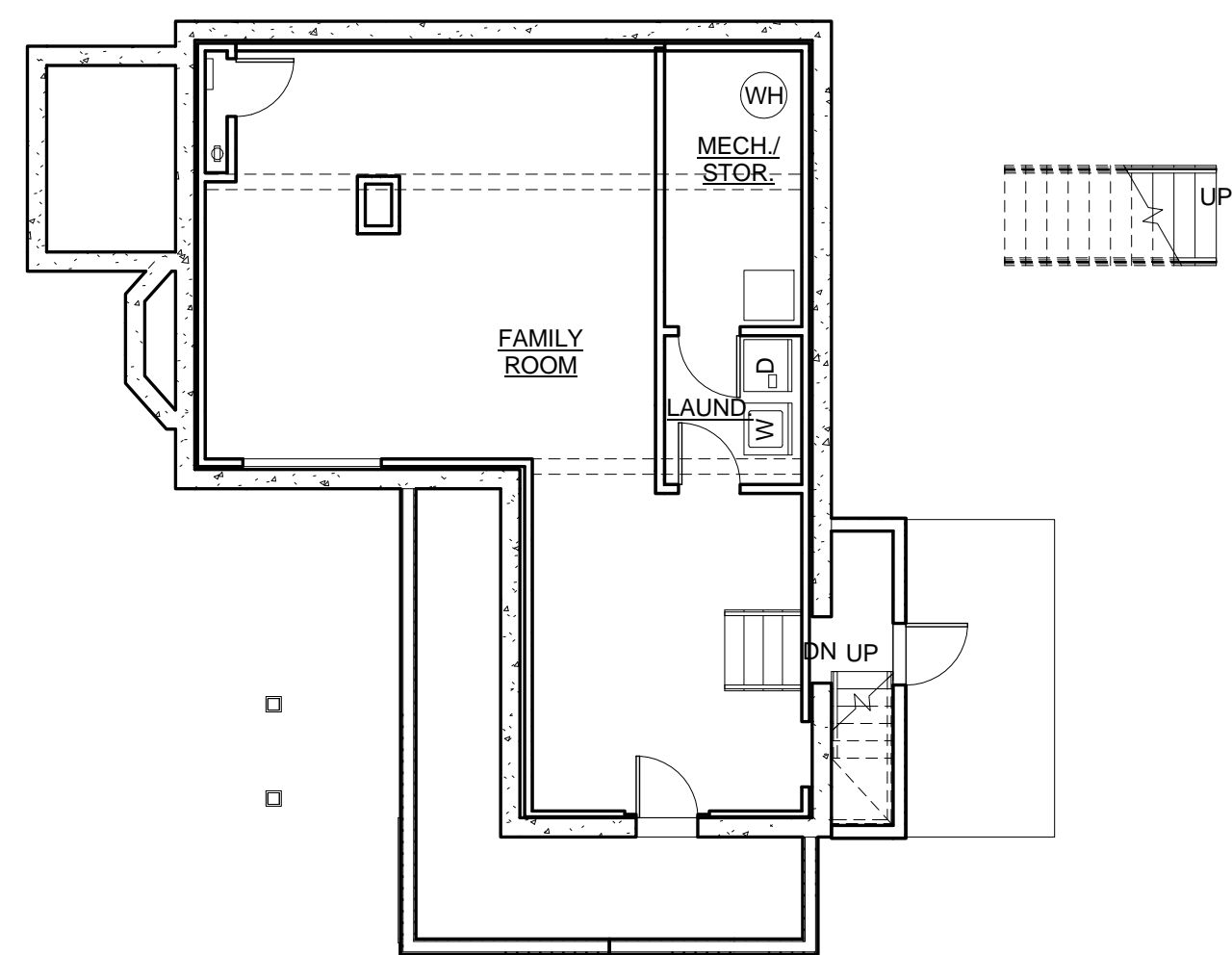
Project number 16108  
Date 03/23/2017  
Drawn by TMC  
Checked by JSK  
Scale As indicated

REVISIONS

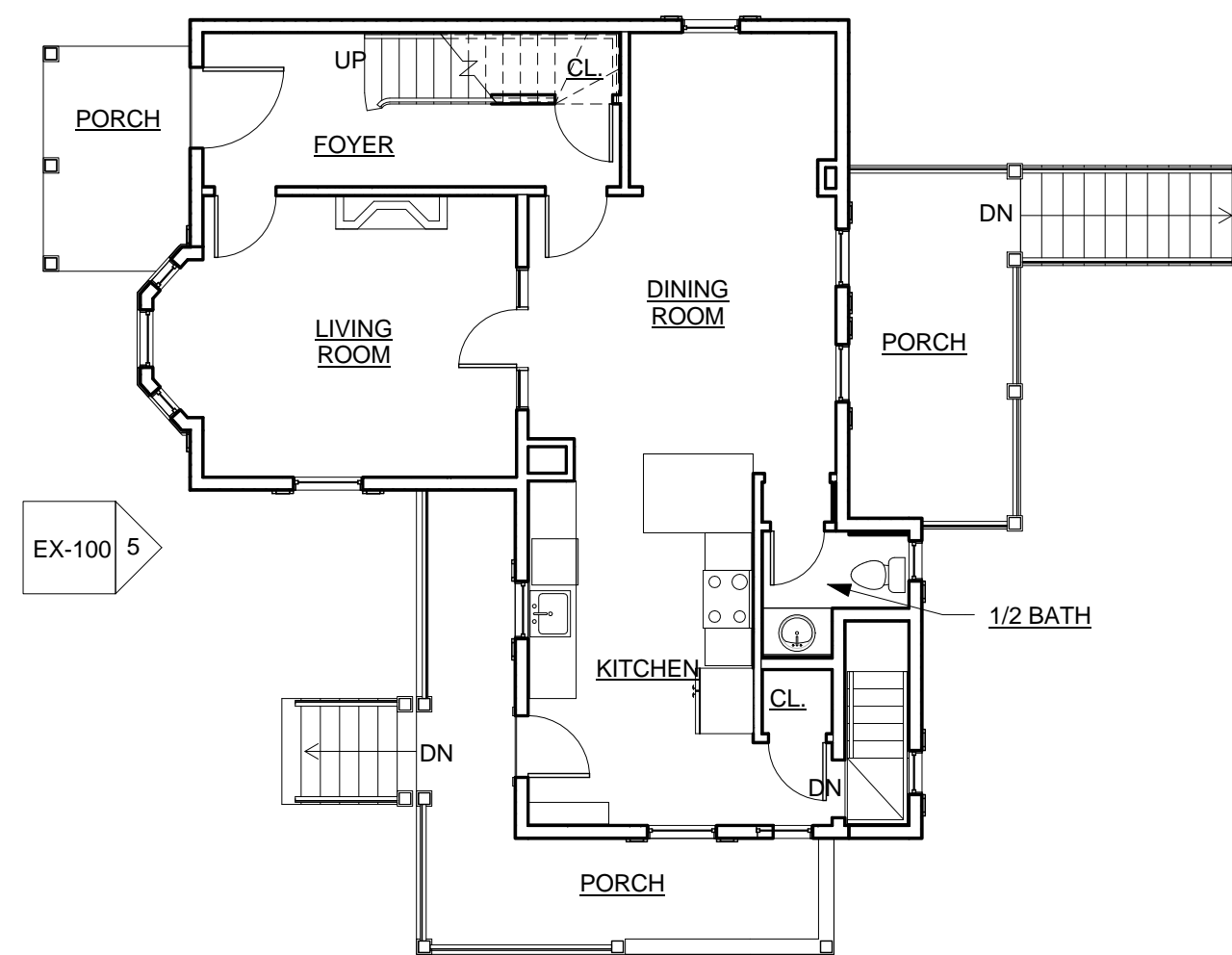
No.	Description	Date

Architectural Site  
Plan

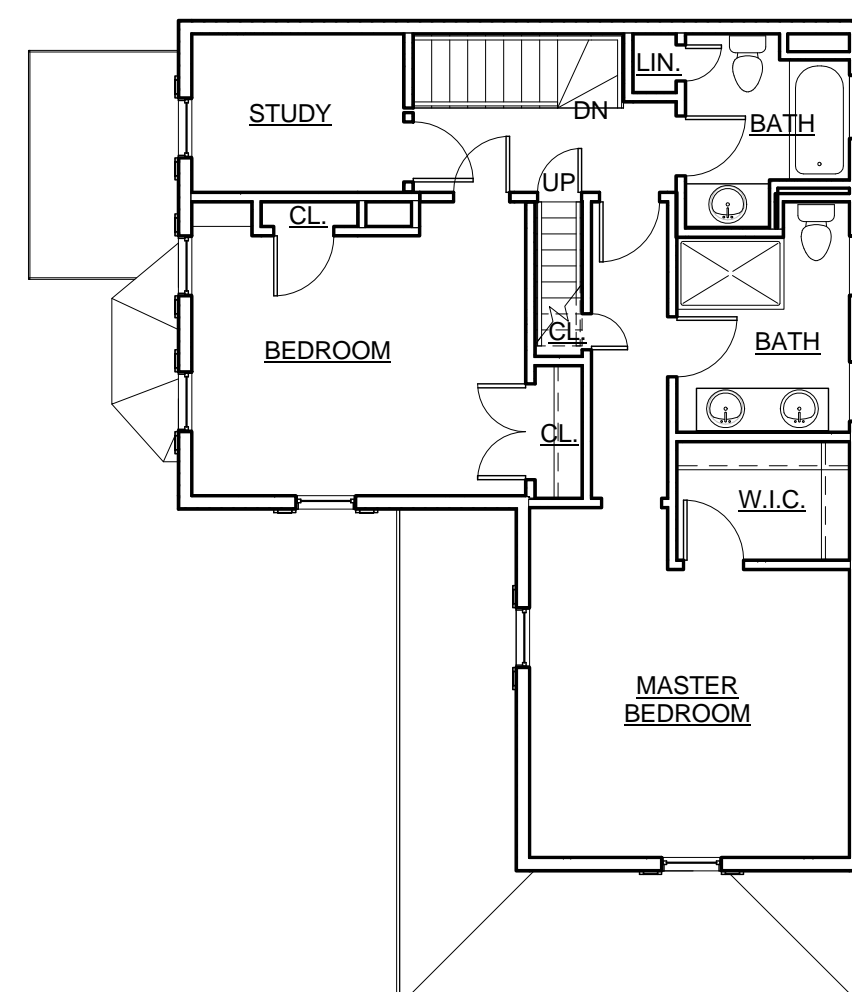
**A-020**  
88 IRVING ST RESIDENCES



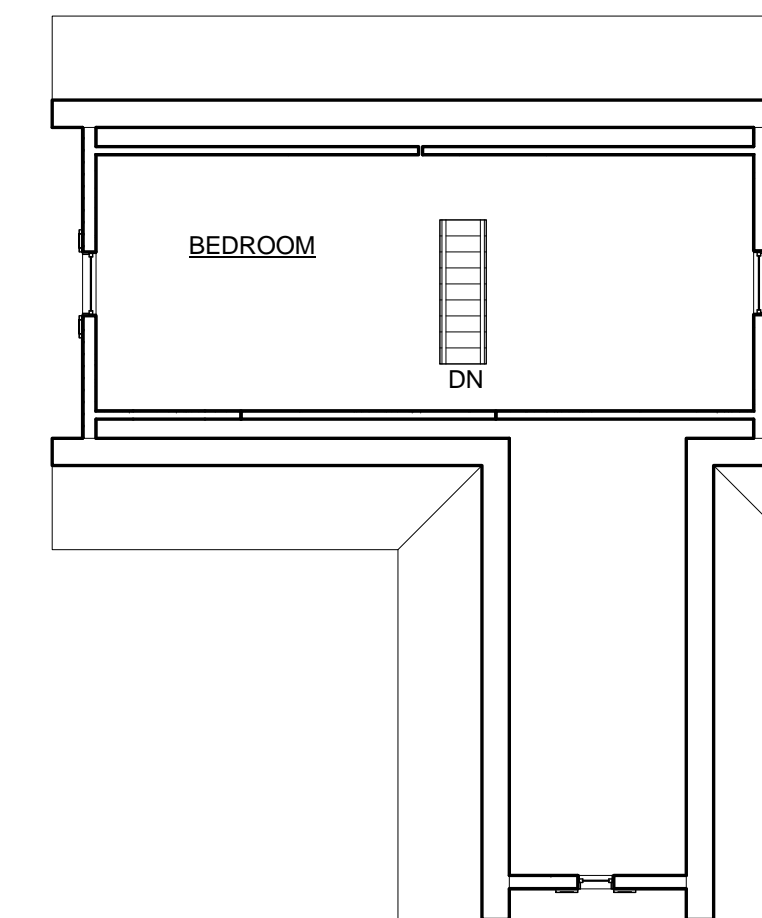
1 Existing Basement Level  
1/8" = 1'-0"



2 Existing 1st Floor Level  
1/8" = 1'-0"



3 Existing 2nd Floor Level  
1/8" = 1'-0"



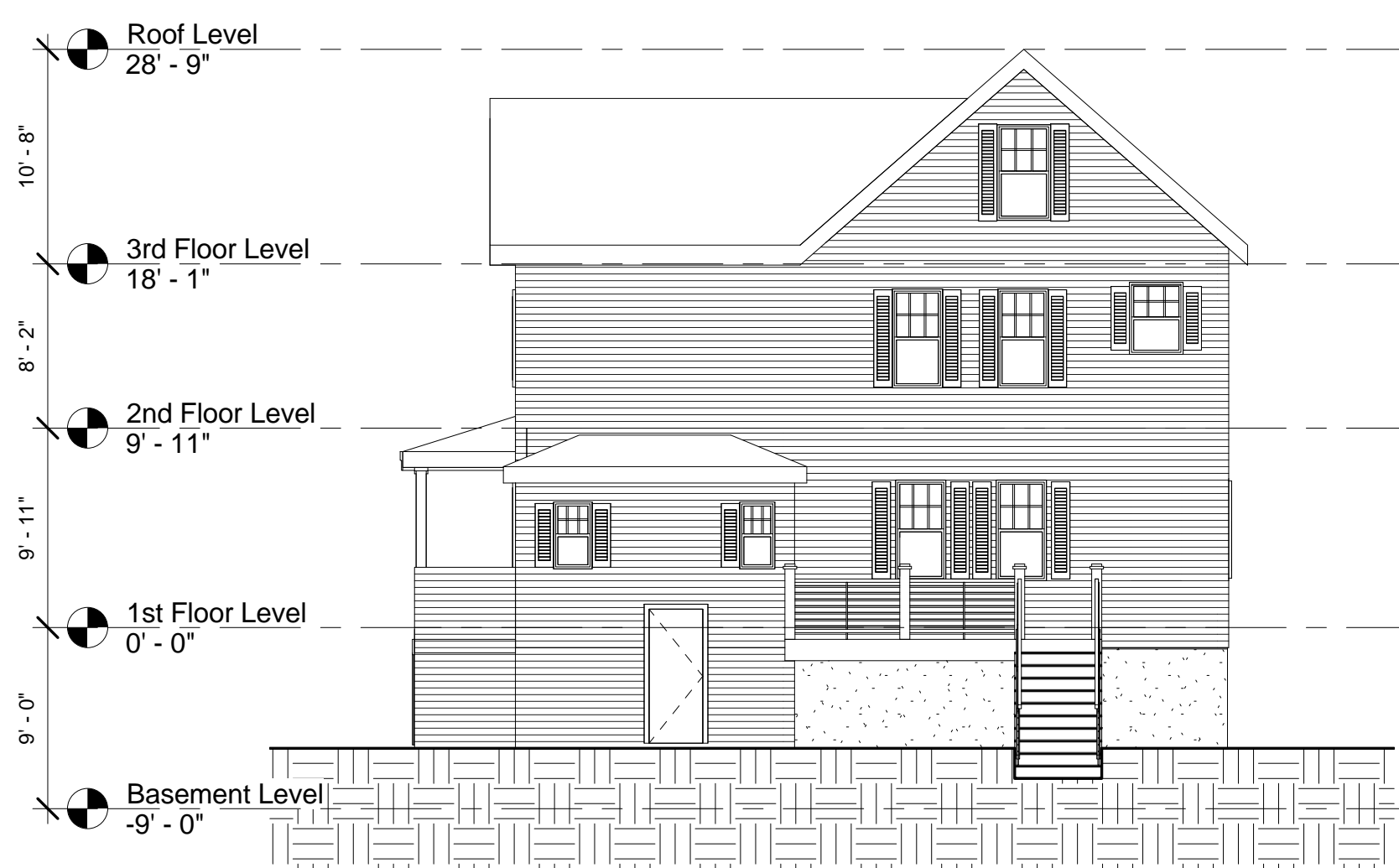
4 Existing 3rd Floor Level  
1/8" = 1'-0"



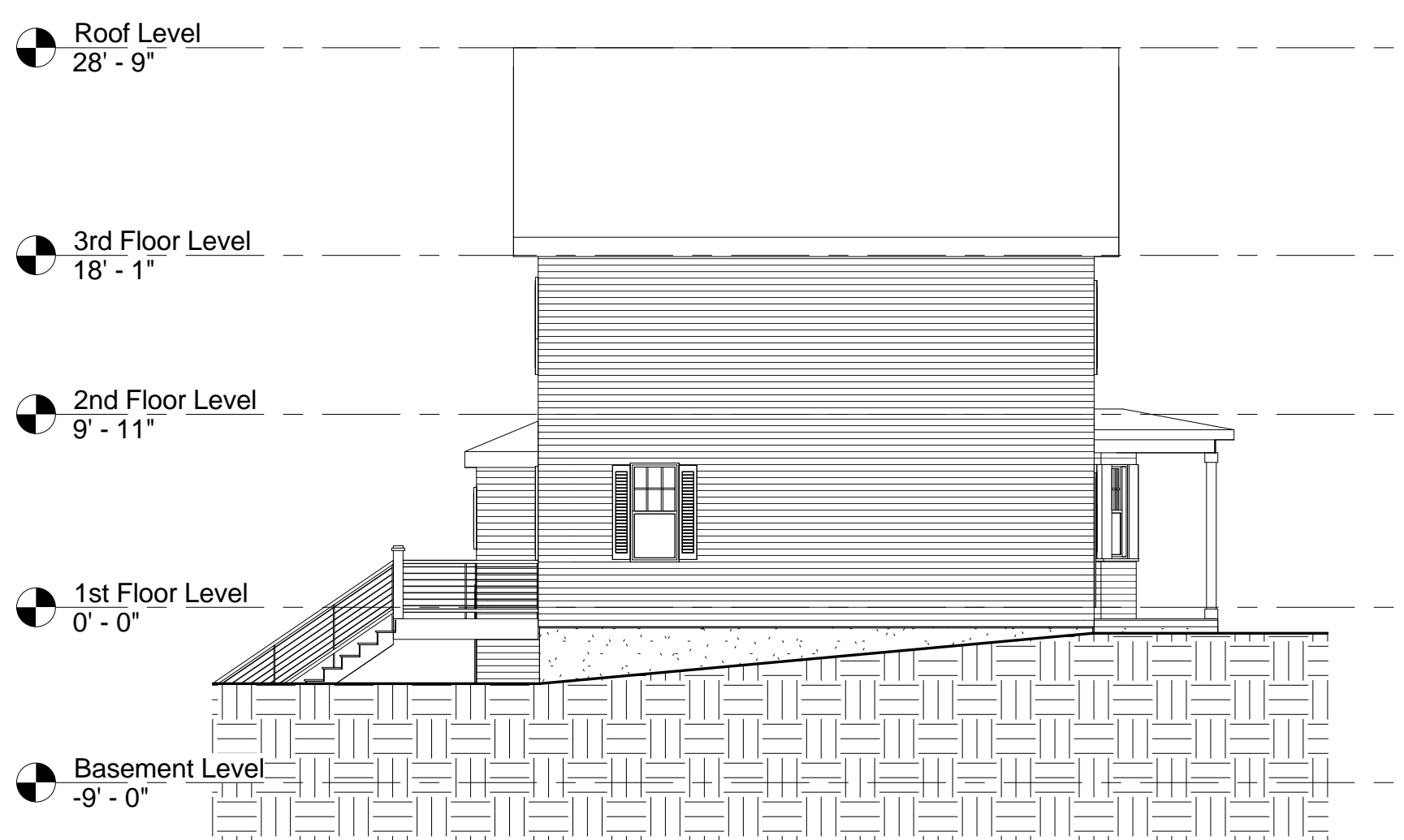
5 Existing East Elevation  
1/8" = 1'-0"



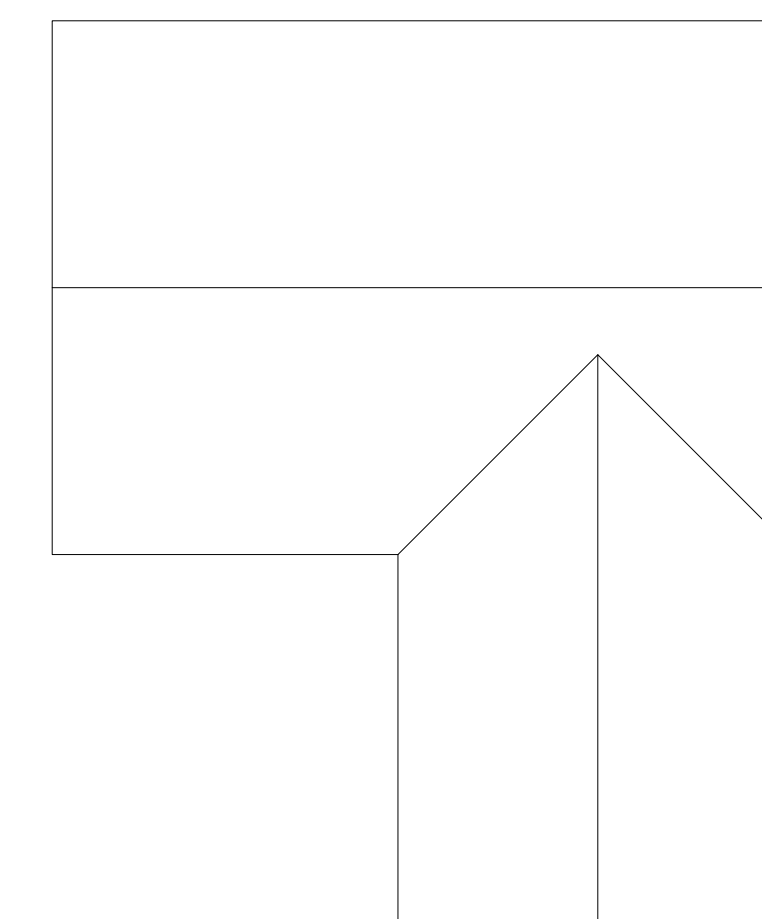
6 Existing North Elevation  
1/8" = 1'-0"



7 Existing West Elevation  
1/8" = 1'-0"



8 Existing South Elevation  
1/8" = 1'-0"



9 Existing Roof Level  
1/8" = 1'-0"

PROJECT NAME

**88 IRVING ST  
RESIDENCES**

PROJECT ADDRESS

88 IRVING STREET  
SOMERVILLE, MA

CLIENT

**GFC DEVELOPMENT**

ARCHITECT



**KHALSA**

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PROSECUTION UNDER LAW

REGISTRATION



Project number	16108
Date	03/23/2017
Drawn by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Existing Conditions

**EX-100**

88 IRVING ST RESIDENCES

UNIT AREA TABULATION		
	UNIT 1	UNIT 2
BASEMENT	723 SF	906 SF
FIRST FL	803 SF	846 SF
SECOND FL	791 SF	553 SF
ATTIC	356 SF	N/A
TOTAL	2,672 SF	2,305 SF

\*AREA CALCULATIONS INCLUDE ALL UNFINISHED STORAGE ROOMS, CLOSETS AND STAIRS

PROJECT NAME  
**88 IRVING ST RESIDENCES**

PROJECT ADDRESS  
88 IRVING STREET  
SOMERVILLE, MA

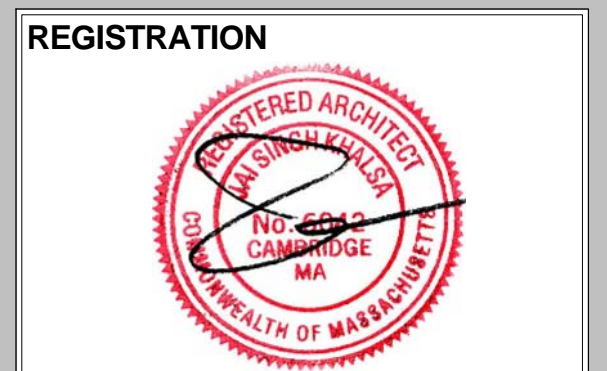
CLIENT  
**GFC DEVELOPMENT**

ARCHITECT  
**DESIGN  
KHALSA**

17 VALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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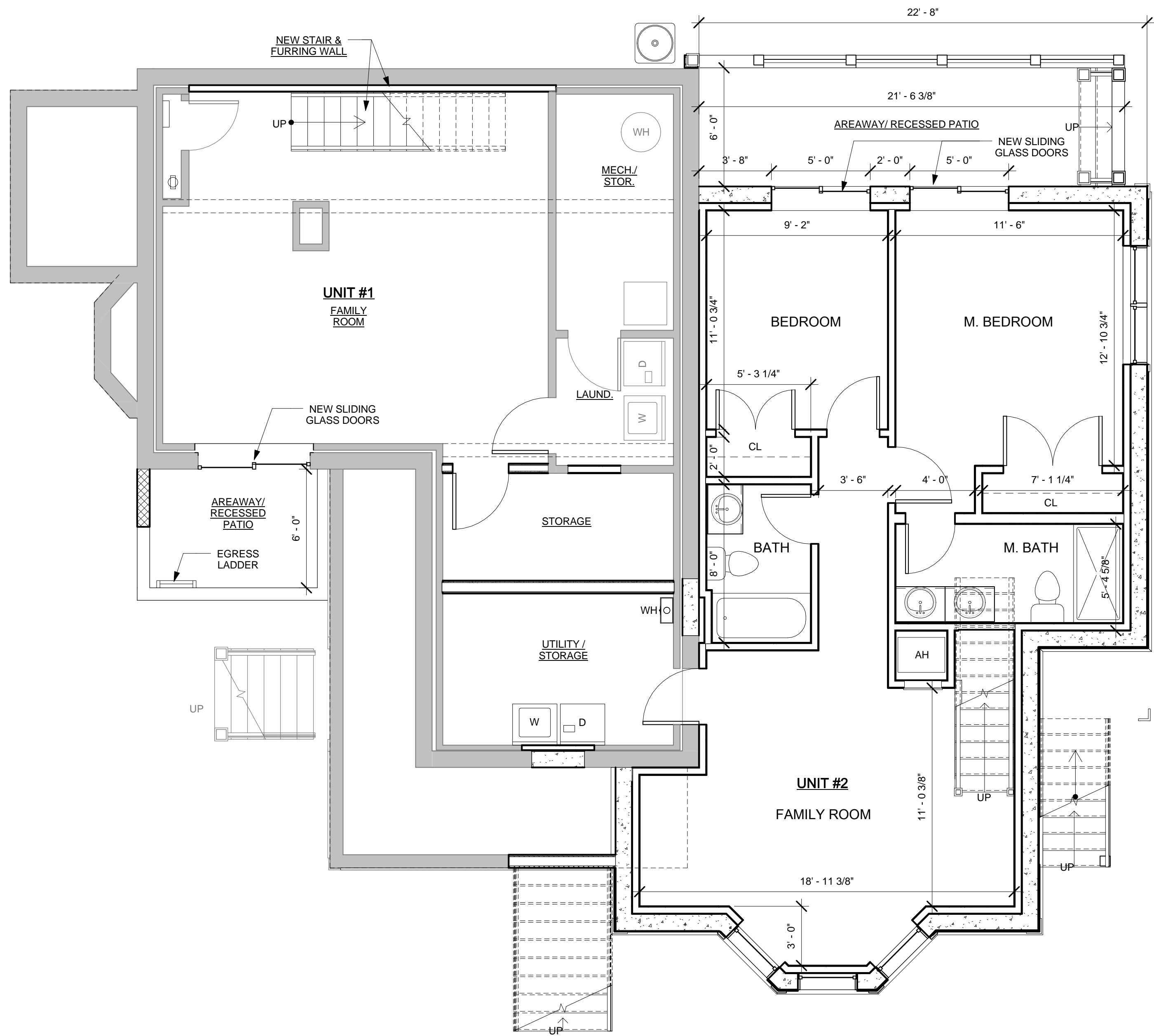
Project number	16108
Date	03/23/2017
Drawn by	TMC / CMH
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

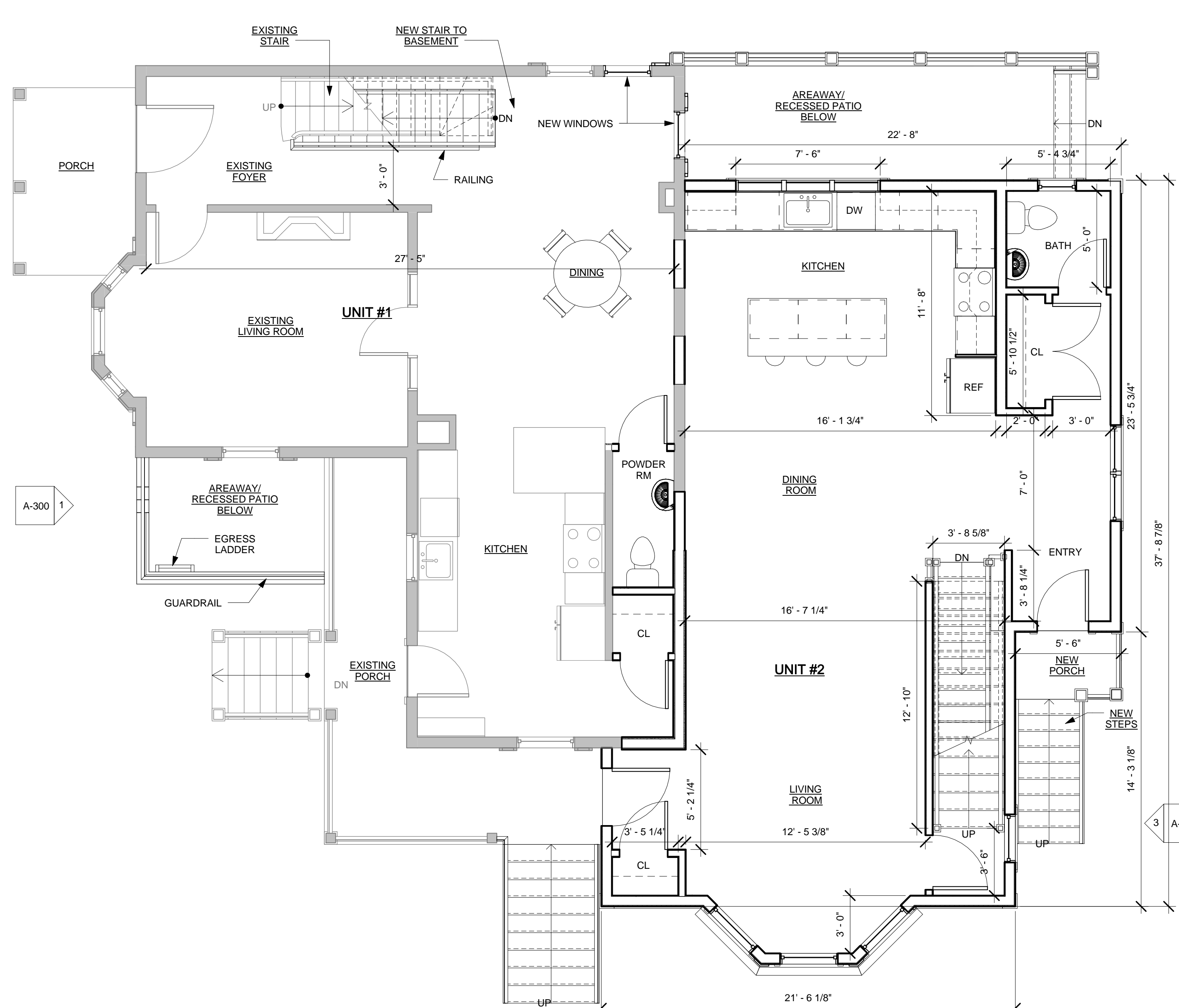
Basement & 1st Floor Plans

**A-100**

88 IRVING ST RESIDENCES



② Basement Level  
1/4" = 1'-0"



① 1st Floor Level  
1/4" = 1'-0"

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PROJECT NAME  
**88 IRVING ST RESIDENCES**

PROJECT ADDRESS  
 88 IRVING STREET  
 SOMERVILLE, MA

CLIENT  
**GFC DEVELOPMENT**



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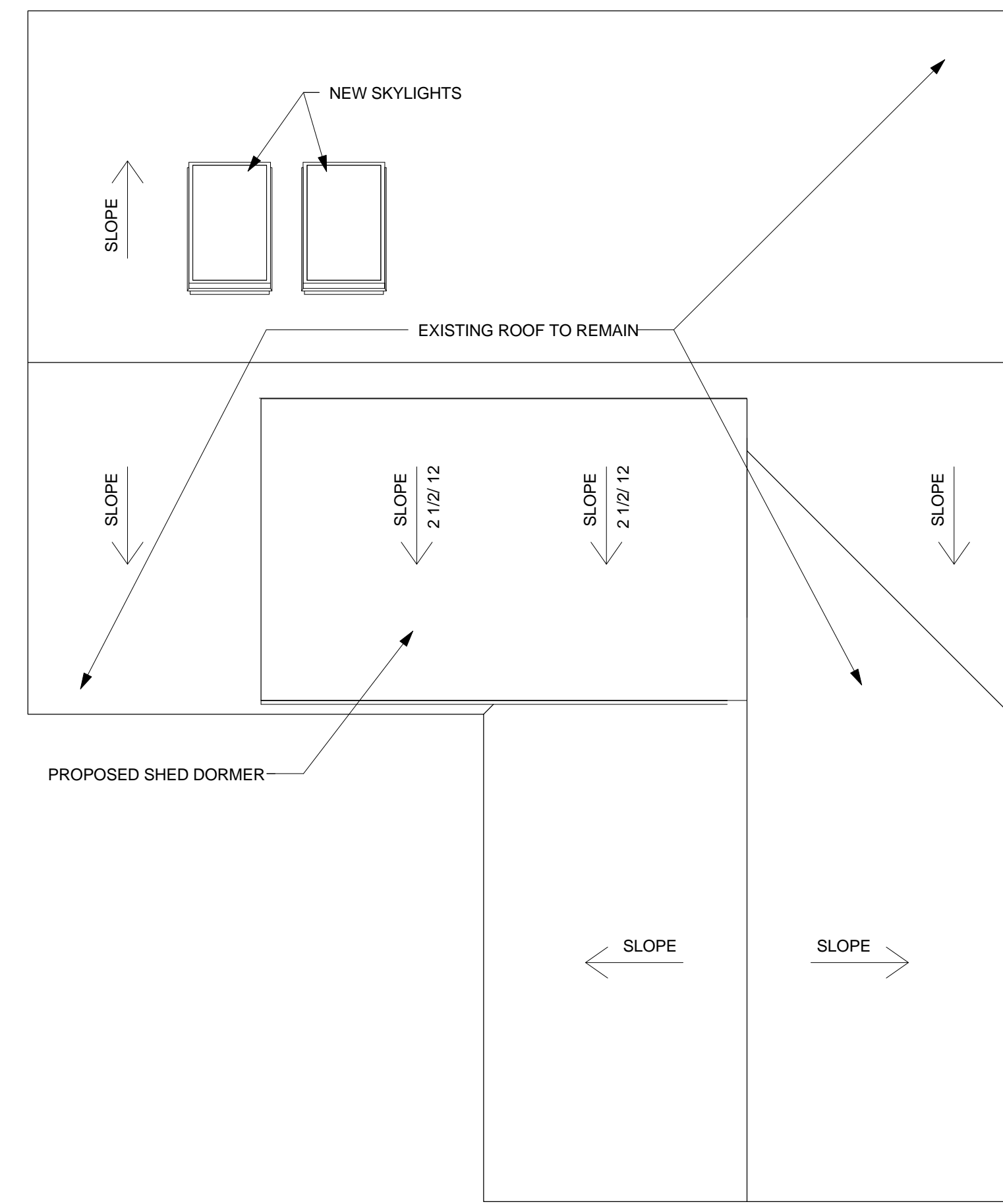
REVISIONS

No.	Description	Date

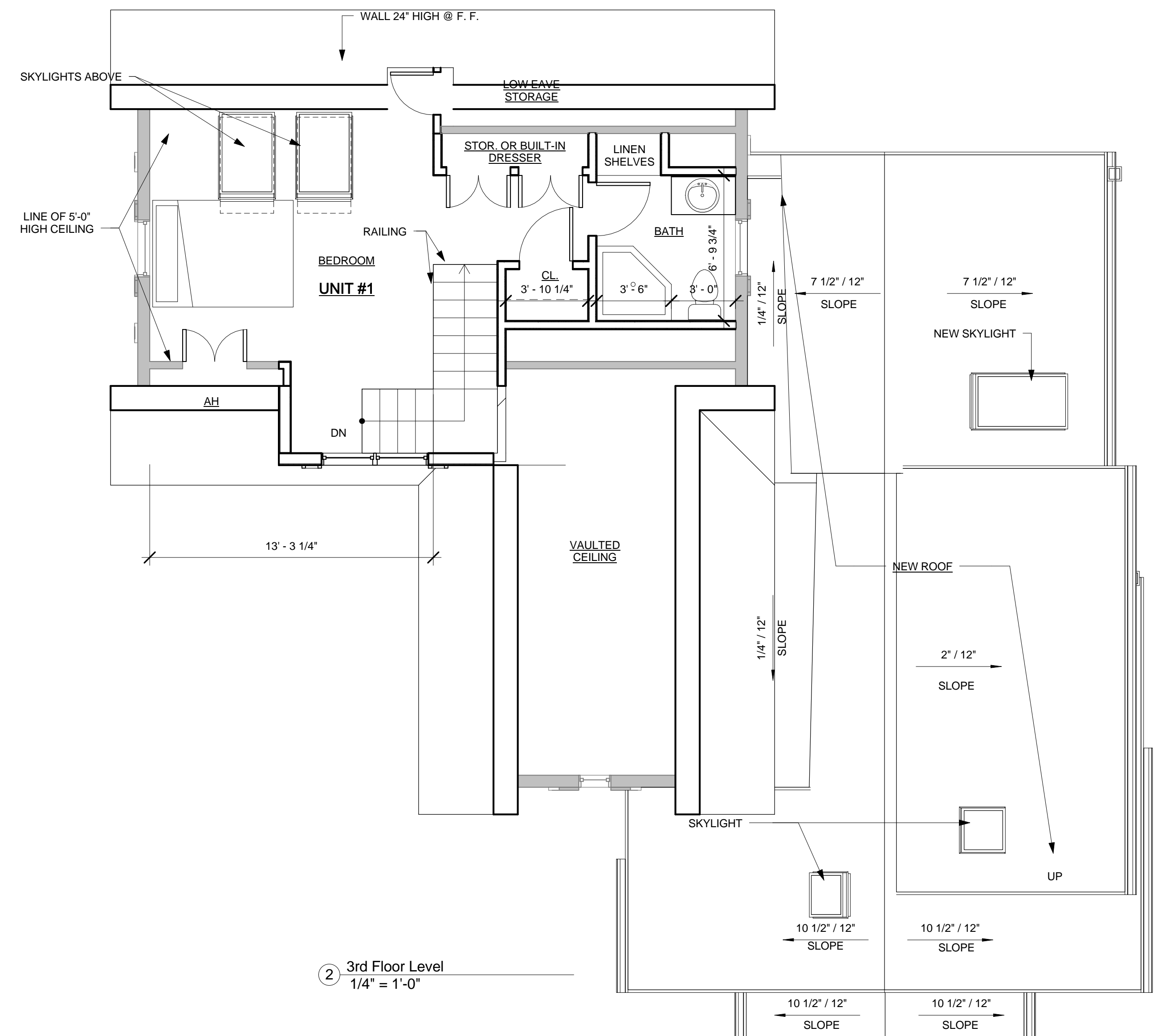
2nd Floor & Attic  
 Floor Plans/ Roof  
 Plan

**A-101**

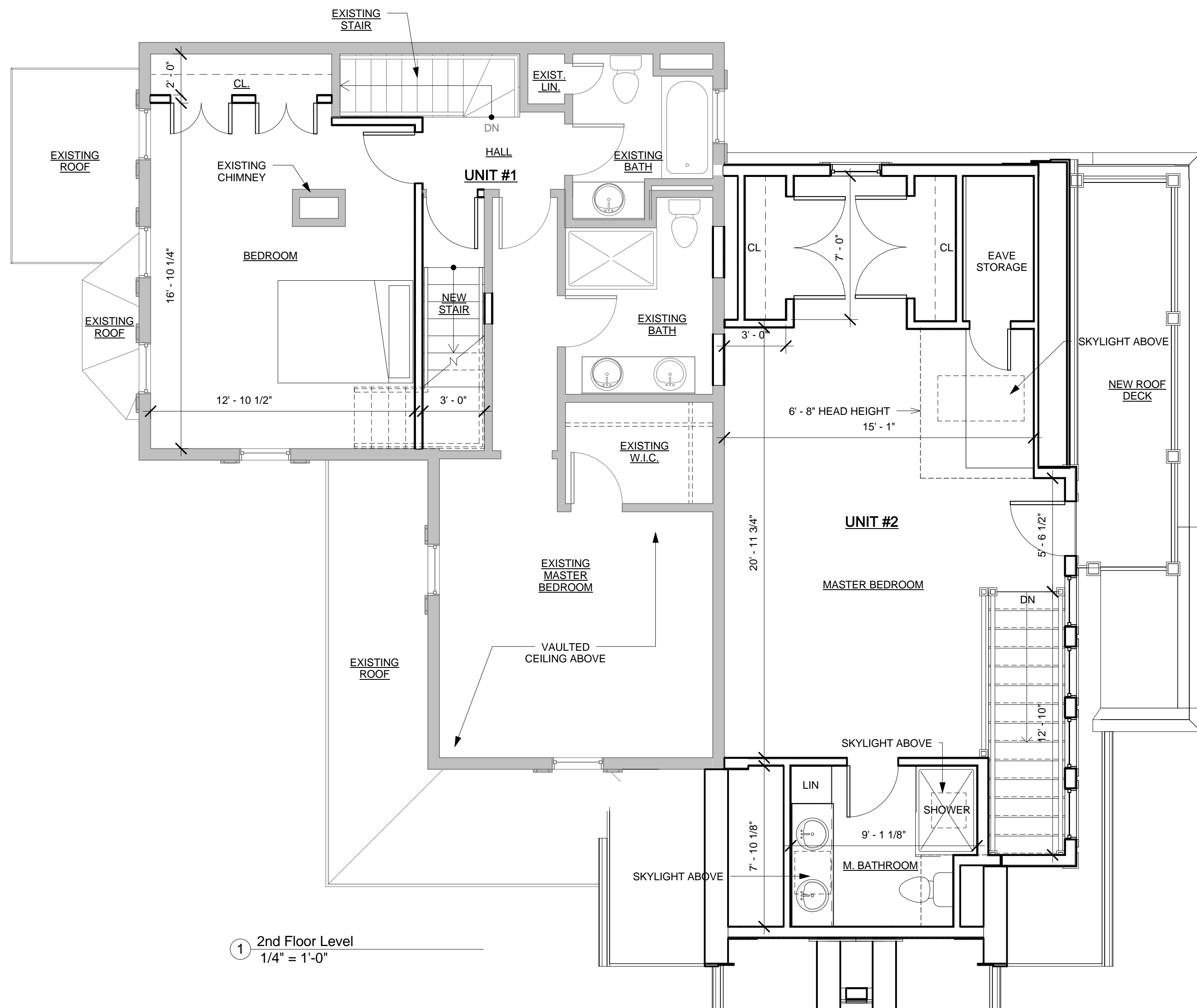
88 IRVING ST RESIDENCES



3 Roof Level  
 1/4" = 1'-0"



2 3rd Floor Level  
 1/4" = 1'-0"



1 2nd Floor Level  
 1/4" = 1'-0"



PROJECT NAME  
**88 IRVING ST RESIDENCES**

PROJECT ADDRESS  
 88 IRVING STREET  
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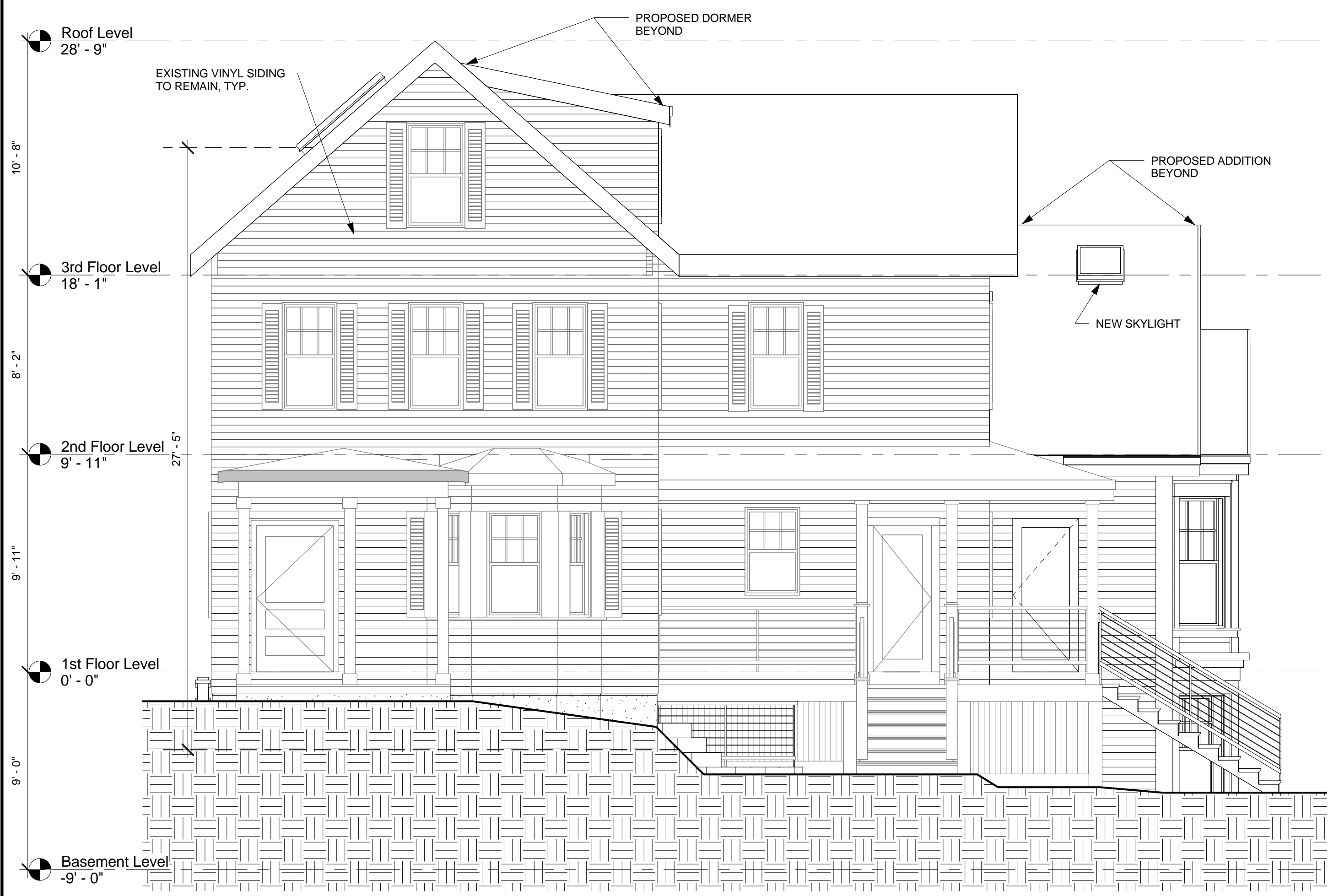
REVISIONS

No.	Description	Date

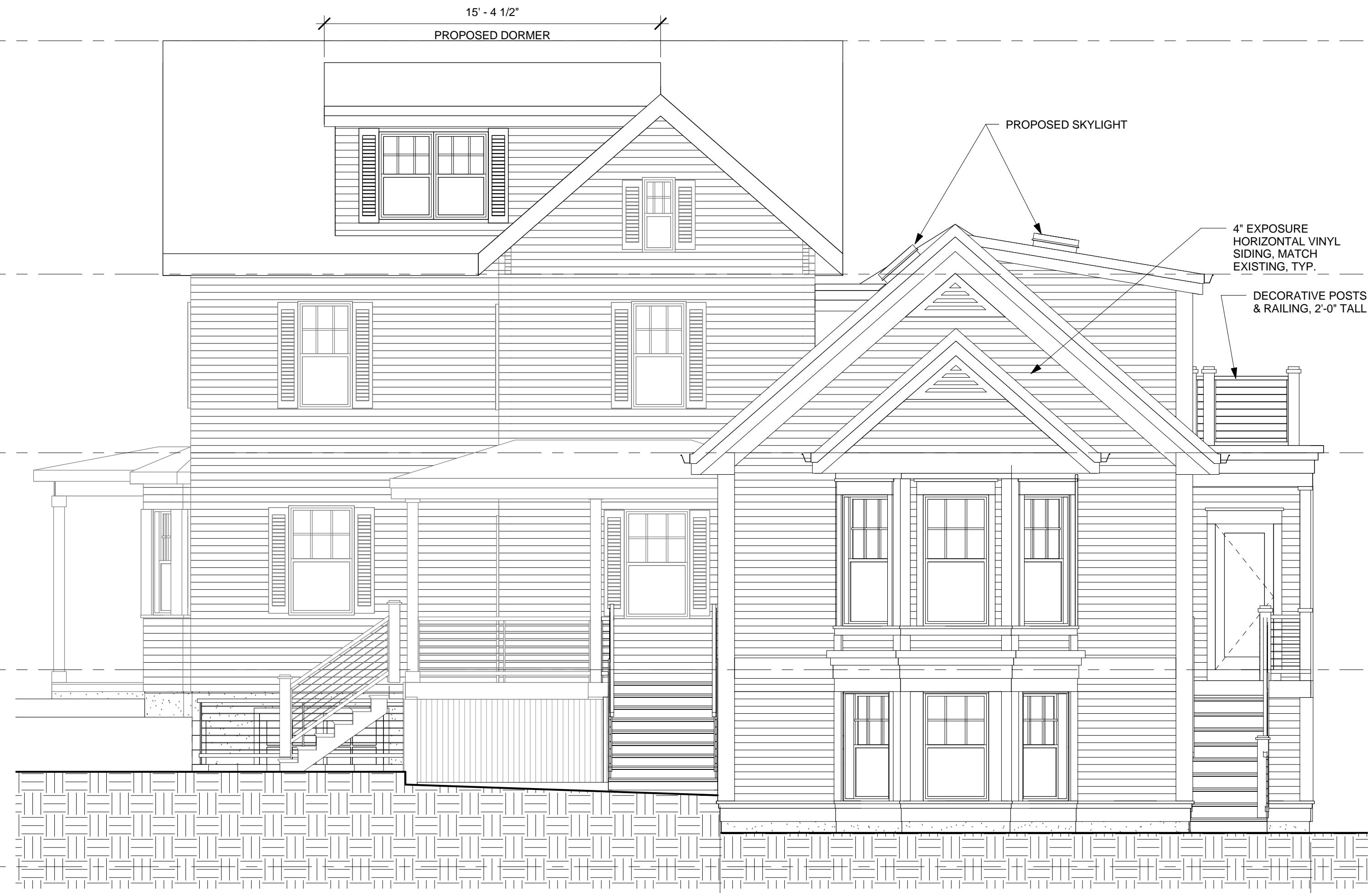
Exterior Elevations

**A-300**

88 IRVING ST RESIDENCES



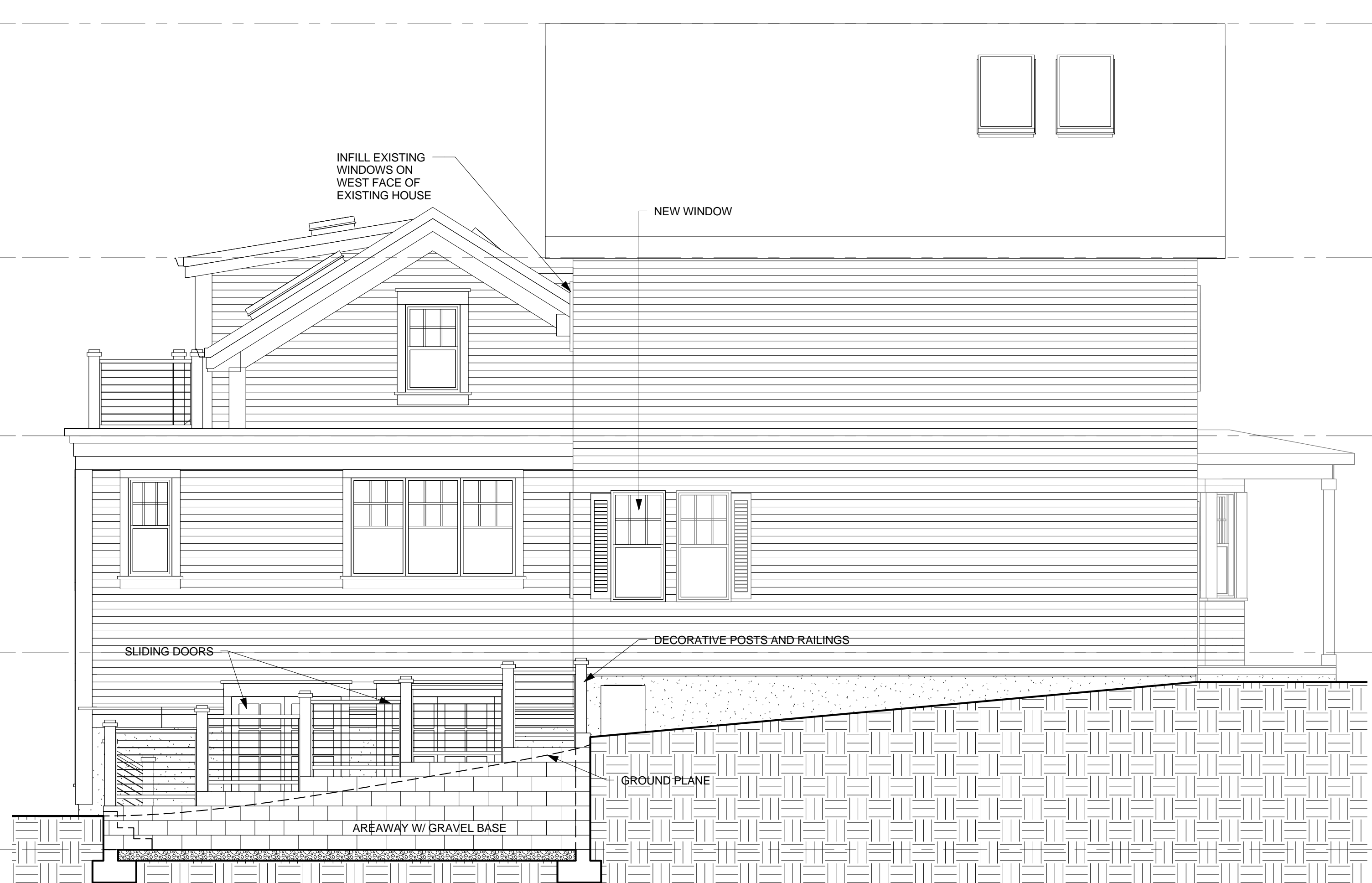
① East Elevation  
 1/4" = 1'-0"



② North Elevation  
 1/4" = 1'-0"

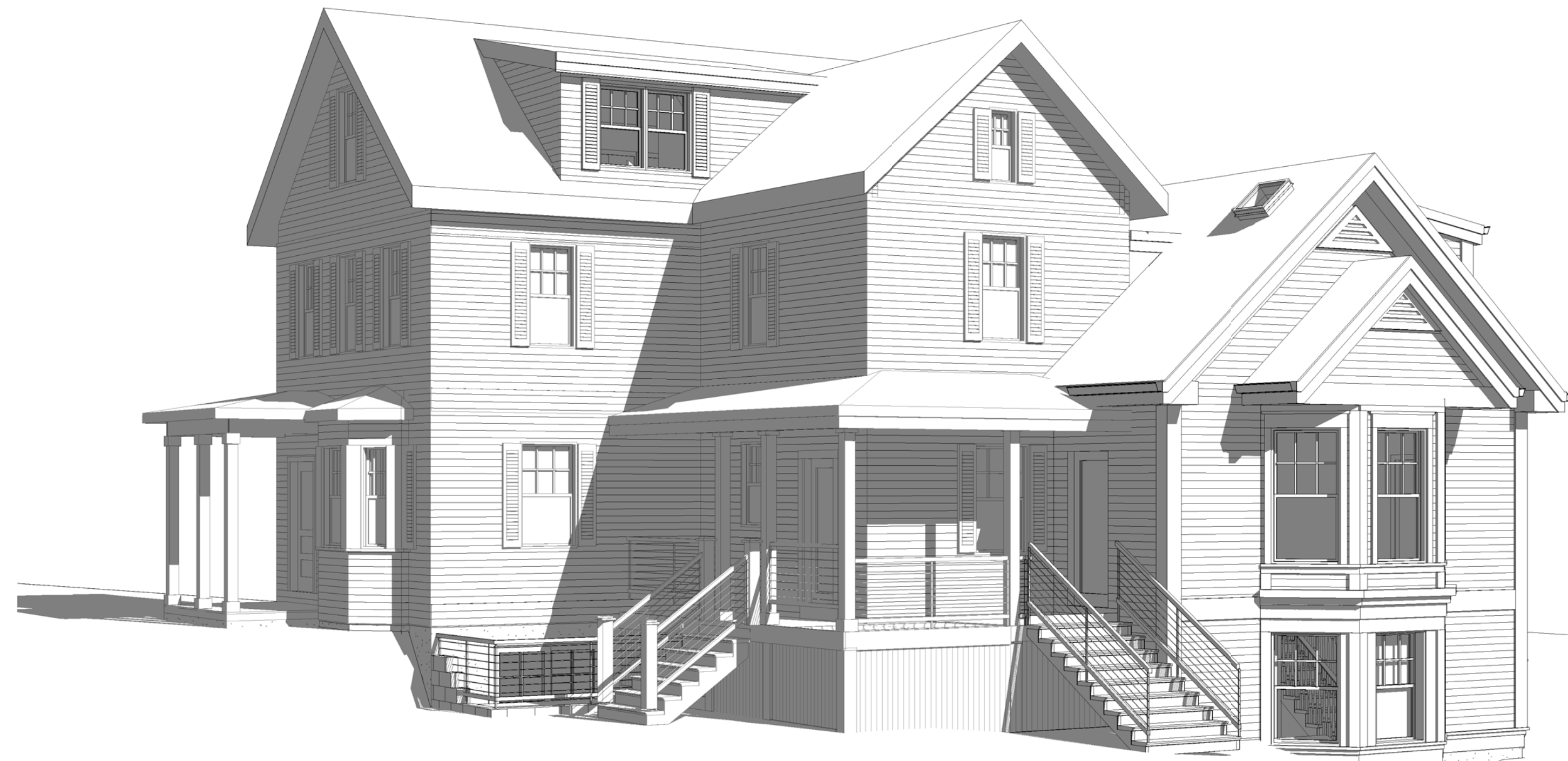


③ West Elevation  
 1/4" = 1'-0"



④ South Elevation  
 1/4" = 1'-0"

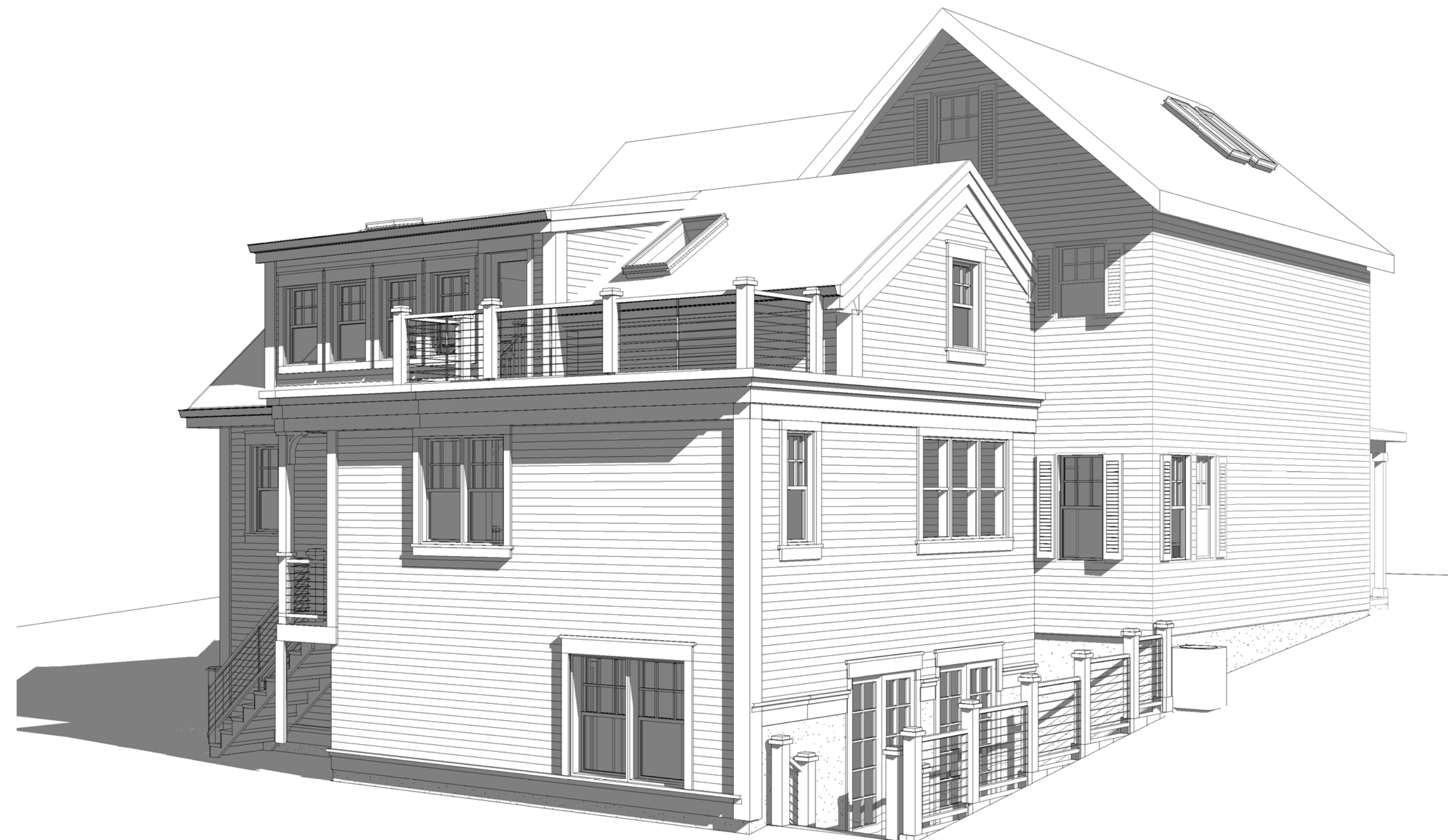
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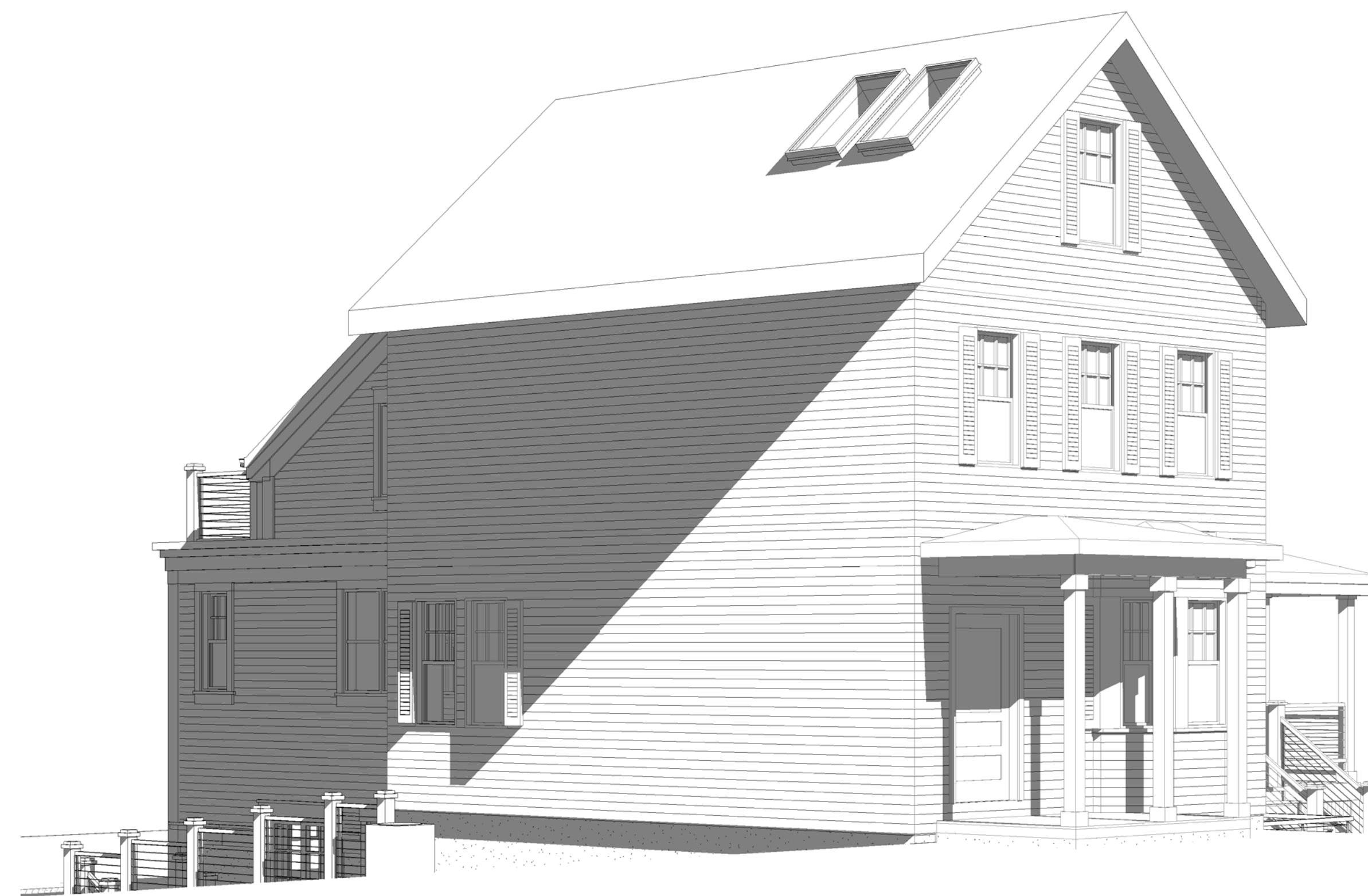
① 3D View 4



② 3D View 1



③ 3D View 2



④ 3D View 3

PROJECT NAME  
**88 IRVING ST  
RESIDENCES**

PROJECT ADDRESS  
88 IRVING STREET  
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Project number 16108  
Date 03/23/2017  
Drawn by TMC  
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Scale

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No.	Description	Date

Perspectives

**AV-1**

88 IRVING ST RESIDENCES

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